

RESIDENTIAL

BUILDING PERMIT

Residential Addition/Sheds (wood/CBS)
Re-Print Permit Board

PERMIT NUMBER: RES2005-12070

ISSUED: 08/31/05
EXPIRES: 12/04/10

Owner Name: LCD HOMES, INC
Contractor: CGC1504941 WOODWIND CONTRACTING INC
Project Name: TWIN PALM ESTATES
Description: SFR ADDITION
Job Address: 1358 HOPEDALE DR FORT MYERS 33919
Zoning: RS-1 Flood: N
Coastal Zone: N Flood Compliance:
SETBACKS: Front 40.00 Rear: 53.50 R. Side: 7.50
Minimum Distance Between Structures: Rear Left:
Number of Amps: 60 Upgrade:
Relocate: Number of Pedest
Type of Mechanical Permi
New/Replace Interior / Exterior: Number of Compressors:
Type of Plumbing Permit: PLU Living Area: 1,283 Sqft
Type of Roof Permit: CT Type of Septic Permit:
Type of Fire Permit:
Type of AC System : New constructor KW : Tons :

Master Plan :

Elevation: 8.00
Drainage Plan Req'd:
L. Side: 7.50
Right:
Number of Meters:
Engineering:

Number of Exhaust Hoods:
HRS No.:
Fire Master No.:
Seer: 12.00

INSPECTION REQUEST LINE: 533-8997

DATE	BY
101 Foundation	_____
102 Floor	_____
103 Tie Beam**	_____
104 Columns/ Pilings	_____
130 Sheathing	_____
Straps Eng. and	_____
Bucks**	_____
105 Framing	_____
903 Tenant Sep (Duplex)	_____
107 Insulation	_____
201 1st R. Plumb	_____
202 2nd R. Plumb	_____
203 Sewer	_____
301 T. Pole	_____
302 TUG/ 310 TOH**	_____
303 Service Change	_____
304 R. Electrical	_____
401 Rough HVAC	_____

DATE	BY
501 Roof Dry-In	_____
502 Roof Process*	_____
503 Roof Final	_____
140 Final Drainage	_____
125 Shutter Final	_____
106 Final Building**	_____
204 Final Plumbing	_____
305 Final Electric	_____
402 Final HVAC	_____
906 Rough Fire	_____
902 Fire Final	_____
Septic/ Call 690-2100	_____
Wells/ Call 533-8540	_____
112 Aluminum	_____
117 Shed	_____

6-18 TJS
6-16 AFS
6-16 S/16504

****FEMA req'd prior to (103), **(130) must be passed prior to a (501) insp., **Appropriate form letter req'd prior to a (302) or (310) insp., **(502) req'd on Concrete Tile Roof only, ***Termite Certificate req'd prior to CC or CO**



Property Data

STRAP: 03-15-24-04-0000D.0040 Folio ID: 10187342

Owner Of Record

CARSTENS PETER + DORIS
1358 HOPEDALE DR
FORT MYERS FL 33919

Site Address

1358 HOPEDALE DR
FORT MYERS FL 33919

Legal Description

TWIN PALM ESTATES
BLK D PB 6 PG 71
LOT 4

Classification / DCR Code

SINGLE FAMILY RESIDENTIAL / 01

[Tax Map Viewer]



[Pictometry Aerial Viewer]

Image of structure



< Photo Date October of 2012 >



Property Values (2014 Tax Roll)

Just	381,323
Assessed	381,323
Portability Applied	0
Cap Assessed	276,554
Taxable	226,554
Cap Difference	104,769

Exemptions

Homestead / Additional	25,000 / 25,000
Widow / Widower	0 / 0
Disability	0
Wholly	0
Senior	0
Agriculture	0

Attributes

(Non-Agricultural Attributes Subject for cap and uniting)

Land Units Of Measure	UT
Units	1.00
Frontage	75
Depth	141
Total Number of Buildings	1
Total Bedrooms / Bathrooms	4 / 3.0
Total Living Area	3,449
1st Year Building on Tax Roll	1958
Historic District	No



Taxing Authorities



Sales / Transactions



Building/Construction Permit Data



Location Information



Solid Waste (Garbage) Roll Data



Flood and Storm Information



Appraisal Details

TRIM (proposed tax) Notices are available for the following tax years

[2007 2008 2009 2010 2011 2012 2013 2014]

PTO - PATIO
 STP - STOOP
 STP - STOOP
 STP - STOOP

N
 N
 N
 N

133
 294
 482
 126

Building Features

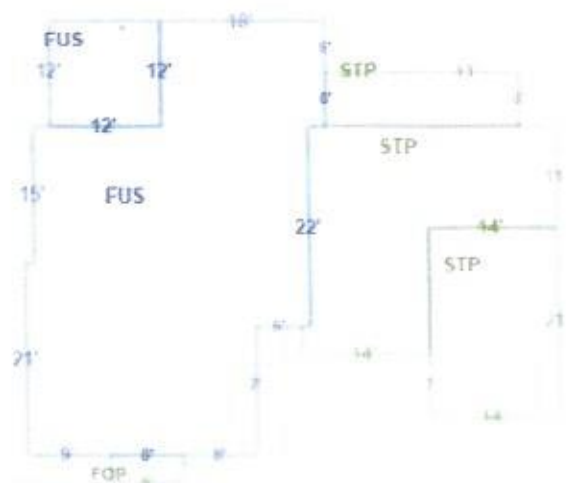
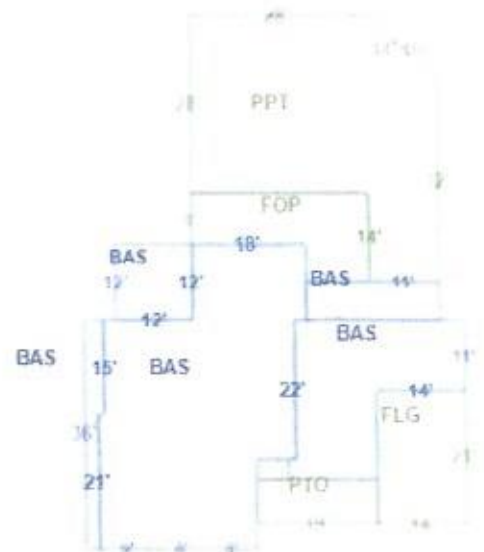
Description	Year Added	Units
FIREPLACE - TYPE A	1958	1
POOL - RESIDENTIAL	1973	392
PATIO - CONCRETE	1973	799
SHED - FRAME W/FLOOR	1985	80
XTRA/ADDITIONAL A/C UNITS	2010	1

Building Front Photo



Photo Date : July of 2011

Building Footprint



[View Parcel on Google Maps](#)

[View Recorded Plat at LeeClerk.org](#)
Use the above link to do an Official Records search on
the Lee County Clerk of Courts website, using 6 and 71
for the book and page numbers.

[View Parcel on GeoView](#)

Solid Waste (Garbage) Roll Data

Solid Waste District	Roll Type	Category	Unit / Area	Tax Amount
002 - Service Area 2	R - Residential Category		1	158.07
Collection Days				
Garbage	Recycling	Horticulture		
Tuesday	Wednesday	Wednesday		

Flood and Storm Information

Storm Surge Zone	Evacuation Zone	Flood Insurance [FIRM Look-up]			
		Community	Panel	Version	Date
B	B	125124	0410	F	8/28/2008

Appraisal Details

Land

Land Tracts

Use Code	Use Code Description	Depth	Frontage	Number of Units	Unit of Measure
100	Single Family Residential	141	75	1.00	Units

Land Features

Description	Year Added	Units
FENCE - WOOD - SOLID BOARD	1994	780

Buildings

Building 1 of 1

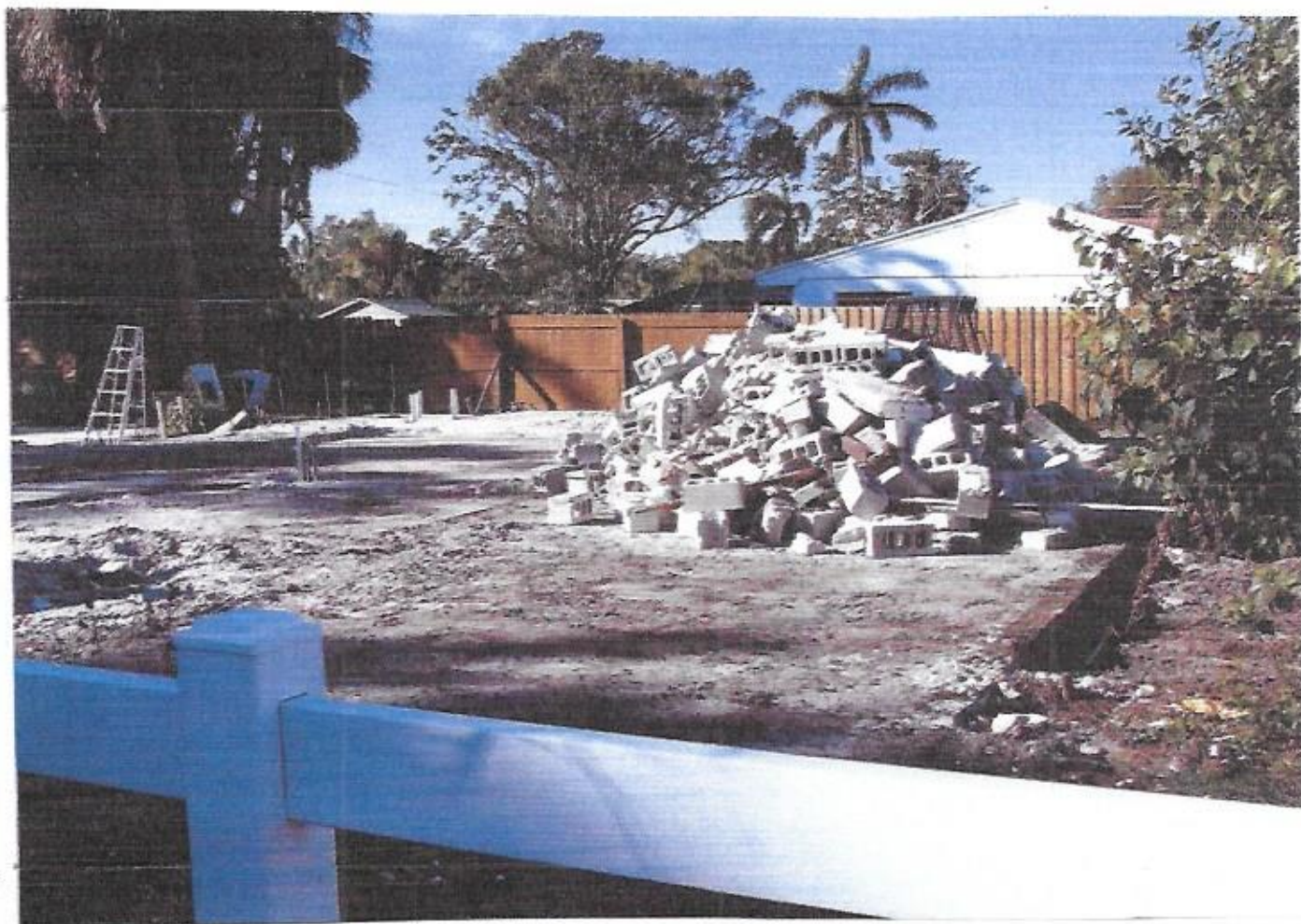
Building Characteristics

Improvement Type	Model Type	Stories	Living Units
100 - Colonial	1 - single family residential	2.0	1
Bedrooms	Bathrooms	Year Built	Effective Year Built
4	3.0	1958	2000

Building Subareas

Description	Heated / Under Air	Area (Sq Ft)
BAS - BASE	Y	482
BAS - BASE	Y	87
BAS - BASE	Y	1,233
BAS - BASE	Y	144
BAS - BASE	Y	126
FLG - FINISHED LOWER GARAGE	N	294
FOP - FINISHED OPEN PORCH	N	24
FOP - FINISHED OPEN PORCH	N	284
FOP - FINISHED OPEN PORCH	N	15
FUS - FINISHED UPPER STORY	Y	1,233
FUS - FINISHED UPPER STORY	Y	144





[Home](#)[Case Types](#)[Status](#)[Parcel](#)[Help](#)**View Case Status**

The information below summarizes the permit/case you selected.

Case Number	Case Type	Value	Status
RES2005-12070	Residential Addition/Sheds (wood/CBS)	\$70,000.00	<u>Finaled</u>

Project Name: TWIN PALM ESTATES
Address: 1358 HOPEDALE DR FORT MYERS 33919 **Strap #:** [034524040000D0040](#)
Directions: TWIN PALM ESTATES/S ON MCGREGOR TO R ON TWINPALM DR L ON HOPEDALE 344-0061
Description: SFR ADDITION
Important Dates: Received: 7/8/2005 Issued: 8/31/2005 **Finaled:** 7/22/2010 **Expiration:** 1/21/2011
Flood Zone: A10 **Required Elevation:** 8 **Flood Compliance:**
Impact Protection: Shutters

People

Role	Name	Address
Owner	LCD HOMES, INC	1358 HOPEDALE DR FT MYERS FL 33919
Building Contractor	CGC1504941 WOODWIND CONTRACTING INC	5100 S CLEVELAND #318 PMB347 FORT MYERS FL 33907
Plumbing Contractor	CFC021528 SUPERIOR PLUMBING	6464 PINE AVENUE SANIBEL FL 33957
Electrical Contractor	EC13002207 BILLS ELECTRIC SERVICE INC	3317 NW JUANITA PL CAPE CORAL FL 33993

Permitting/Plan Review Activity

Type	Requested	Scheduled	Completed	Disposition	County Staff
Application Received	7/8/2005		7/8/2005	<u>DONE</u>	Helen M Ruedy
Zoning Review	7/8/2005	7/15/2005	7/20/2005	<u>REJ</u>	Susan E Burns
Comments: SETBACK ON SIDES DO NOT MEET 7.5 MIM REQUIREMENTS- RESUBMIT SHOWING 2ND FLOOR SETBACKS					
Resubmit Zoning Review	8/5/2005	8/8/2005	8/5/2005	<u>DONE</u>	Susan E Burns
Comments: RS1/A10-EL8>>EXISTING NON CONFORMING HOME SETBACKS, BUILT 1958>>2ND FLOOR ADDITION MUST COMPLY WITH EXISTING CODE REGS-SETBACKS ON SITE PLAN APPEAR THAT THEY ADHEAR. SXB OWNER WILL SUBMIT EXISTING SITE PLAN					
Plan Review	7/8/2005	7/15/2005	8/15/2005	<u>REJ</u>	<u>Linda Ramsey</u>
Comments: RES ADDN LMR 8/8/05; 8/15/05 faxed rejection LMR p/u by brian on 8/25/05					
Resubmit Plan Review	8/26/2005	8/29/2005	8/29/2005	<u>DONE</u>	<u>Linda Ramsey</u>
Comments: RESUB RES ADDN LMR 8/29/05 revision in box # 907269**02/20/07					

Impact Fee Determination	7/8/2005	8/29/2005	<u>DONE</u>	<u>Linda Ramsey</u>
Additional Documents Required	7/8/2005			
<i>Comments: NOC</i>				
Ready for Pick-up (F)	8/31/2005	8/31/2005	<u>DONE</u>	Rhonda J Tallent
<i>Comments: READY NEEDS NOC.</i>				
Revision Submitted (Zoning)	12/15/2005	12/18/2005	12/5/2005	<u>DONE</u> Sharon Mihm
<i>Comments: no change in s/b - P/U BY BRIAN BARTON ON 12/19/05</i>				
Revision Submitted (Plan Rev)	12/5/2005	12/8/2005	12/19/2005	<u>DONE</u> <u>Linda Ramsey</u>
<i>Comments: REV REPLACE EXISTING WALLS WALLS THAT ARE ENCROCHING ON SETBACKS WILL NOT BE REMOVED HOWEVER THEY WILL BE REINFORCED LMR 12-7-05; 12/14/05 gave to Sharon Mihm for zoning review first LMR; P/U BY BRIAN BARTON ON 12/19/05-12/19/05 called for p/u LMR</i>				
Revision Submitted (Plan Rev)	2/22/2007	2/25/2007	2/22/2007	<u>DONE</u> Miriam V Miret
<i>Comments: change Roof contractor from Aspen const to Boulton construction inc. CCC# 1227818.</i>				
Revision Submitted (Plan Rev)	2/14/2007	2/17/2007	2/19/2007	<u>DONE</u> <u>Linda Ramsey</u>
<i>Comments: TO CHANGE TO TILE ROOF LMR 2/15/07; 2/19/07 took to drive thru they sent me todrop off at the ready desk, owner wants roofing contractor changed LMR - P/U BY BRIAN BARTON ON 02/20/07 revision in box # 907138**02/19/07</i>				
Compliance Cert. Issued (F)		7/22/2010	<u>DONE</u>	Laura Pearl
Sent/Ret Scanning	4/17/2006	5/30/2006	<u>DONE</u>	

Permit/Subpermit Activity

Type	Requested	Scheduled	Completed	Disposition	County Staff
Permit Issued (F)			8/31/2005	<u>DONE</u>	Patricia F Lyles
Print Permit Info Board (F)			8/31/2005	<u>DONE</u>	Patricia F Lyles
Print Permit Info Board (F)			6/4/2010	<u>DONE</u>	Eileen G Palmer
Print Permit Info Board (F)			6/4/2010	<u>DONE</u>	Eileen G Palmer
Issue Completion Permit (F)			6/4/2010	<u>DONE</u>	Eileen G Palmer
<i>Comments: NEW NOC IN FILE</i>					
Request/Approve Completion	6/4/2010		6/4/2010	<u>DONE</u>	Eileen G Palmer
<i>Comments: RECEIVED LETTER FROM LCD HOMES, INC REQUESTING COMPLETION</i>					
Request/Approve Completion	6/3/2010		6/4/2010	<u>DONE</u>	Eileen G Palmer
<i>Comments: RECEIVED LETTER FROM LCD HOMES, INC. REQUESTING COMPLETION AND CHANGE OF CONTRACTOR FROM OWNER BUILDER TO WOODWIND CONTRACTING...CGC1504941..PENDING NEW NOC AND 100.00 & 50 FEE. ALSO CHANGING ALL SUB</i>					
Re-print Permit Board (F)	6/4/2010		6/4/2010	<u>DONE</u>	Eileen G Palmer
Re-print Permit Board (F)	6/4/2010		6/4/2010	<u>DONE</u>	Eileen G Palmer
Elec. Sub Permit Req'd/Issued	6/4/2010		6/8/2010	<u>DONE</u>	
<i>Comments: EC13002207 BILLS ELECTRIC SERVICE INC, Phone: 239-574-2409</i>					
Elec. Sub Permit Req'd/Issued	8/29/2005		10/28/2005	<u>DONE</u>	Karen D Myers
<i>Comments: owner/RECEIVED LETTER FROM LCD HOMES TO REMOVE OWNER/BLD AS SUB AND APPLY NEW SUB.....SEE ELEC. SUB 6/4/2010</i>					
Mech. Sub Permit Req'd/Issued	8/29/2005		10/28/2005	<u>DONE</u>	Karen D Myers

Comments: owner builder/owner/RECEIVED LETTER FROM LCD HOMES TO REMOVE OWNER/BLD AS SUB AND APPLY NEW SUB.....SEE MECH. SUB 6/4/2010

Mech. Sub Permit Req'd/Issued 6/4/2010 6/17/2010 DONE Cora M Guerrier

Comments: EXPERTISE COOLING INC

Plumb. Sub Permit Req'd/Issued 6/4/2010 6/8/2010 DONE

Comments: CFC021528 SUPERIOR PLUMBING, Phone: 239-334-1807

Plumb. Sub Permit Req'd/Issued 9/5/2006 9/5/2006 DONE Kara Stewart

Comments: added to case in error fees collected under R1200600000000022197 transferred to RES2006-01900

Plumb. Sub Permit Req'd/Issued 8/29/2005 10/28/2005 DONE Karen D Myers

Comments: OWNER/BUILDER...owner/RECEIVED LETTER FROM LCD HOMES TO REMOVE OWNER/BLD AS SUB AND APPLY NEW SUB.....SEE PLBG. SUB 6/4/2010

Roof Sub Permit Req'd/ Issued 2/22/2007 2/22/2007 2/27/2007 DONE

Comments: CCC1327818 BOULTON CONSTRUCTION INC

Roof Sub Permit Req'd/ Issued 8/29/2005 8/29/2005 7/18/2006 DONE

Comments: CCC1326446 ASPEN CONSTRUCTION COMPANY OF GEORG Revision to change to Tile Roof.....Rec'd letter from Samantha Barton to remove Aspen construction from this job, using Boulton Construction.

Shutter Sub Prmt Req'd/Issued 6/17/2010 7/20/2010 DONE

Comments: CBC1251715 ALUFAB USA INC

Inspections [Click here to schedule an Inspection Online](#)

Type	Requested	Completed	Disposition	County Staff
INSP - NOTICE OF COMMENCEMENT	7/8/2005	8/31/2005	<u>DONE</u>	Patricia F Lyles
INSP - INFO FOR INSPECTOR	8/5/2005			
<i>Inspection Comments: PLEASE NOTE THAT THE FIRST FLOOR SETBACKS DO NOT COMPLY WITH CURRENT RS1 ZONING; HOME WAS BUILT IN 1958-SITE PLAN SHOWS 2ND FLOOR SIDE S/B'S TO BE 7.6' ON BOTH SIDES-PLEASE CONFIRM THANKS--SXB</i>				
Insp Plum - 201 Rough	10/28/2005	10/31/2005	<u>FAIL</u>	Allen Soto
<i>Inspection Comments: DWV TEST 312.2, 909.1, 706.3, & 306.1</i>				
Insp Plum - 201 Rough	10/31/2005	11/2/2005	<u>DONE</u>	Allen Soto
Insp Ele - 303 Service Change	11/8/2005	11/14/2005	<u>CNCL</u>	Mark W Bauer
Insp Struct - 101 Foundation	11/9/2005	11/10/2005	<u>FAIL</u>	Randy R Southard
<i>Inspection Comments: Footing N.T.P., dowels not in place, no epoxy.</i>				
Insp Struct - 101 Foundation	11/11/2005	11/14/2005	<u>DONE</u>	Randy R Southard
<i>Inspection Comments: Pre-treat</i>				
Insp Ele - 301 Temp Pole	11/14/2005	11/14/2005	<u>CNCL</u>	
Insp Ele - 301 Temp Pole	11/15/2005	11/17/2005	<u>DONE</u>	Mark W Bauer
Insp Struct - 102 Floor	12/20/2005	12/21/2005	<u>DONE</u>	Randy R Southard
Insp Struct - 103 Tie Beam	1/6/2006	1/8/2006	<u>CNCL</u>	
Insp Struct - 104 Columns/Pile	1/6/2006	1/8/2006	<u>CNCL</u>	
Insp Struct - 103 Tie Beam	1/10/2006	1/11/2006	<u>DONE</u>	Randy R Southard
Insp Struct - 104 Columns/Pile	1/10/2006	1/11/2006	<u>DONE</u>	Randy R Southard
Insp Struct-130 Shtg-strap-eng	6/8/2006	6/8/2006	<u>CNCL</u>	
Insp Struct - 105 Framing	6/8/2006	6/8/2006	<u>CNCL</u>	

Insp Struct-130 Shtg-strap-eng	6/9/2006	6/12/2006	<u>DONE</u>	Randy R Southard
Insp Ele - 303 Service Change	9/1/2006	9/6/2006	<u>CNCL</u>	Dave Lombardo

Inspection Comments: change to 302

Insp Ele - 302 Temp Undergrnd	9/5/2006	9/6/2006	<u>DONE</u>	Dave Lombardo
Insp Mec - 401 Rough HVAC	12/26/2006	12/27/2006	<u>FAIL</u>	Roger D Stafford

Inspection Comments: drains needs insulated wood in return plenum 2 exhaust fans missing range vent not ran no screen on range vent wallcap

Insp Ele - 304 Rough Electric	1/15/2007	2/20/2007	<u>DONE</u>	Dave Lombardo
Insp Fire - 906 Rough Fire	1/15/2007	1/15/2007	<u>CNCL</u>	
Insp Mec - 401 Rough HVAC	1/24/2007	1/25/2007	<u>FAIL</u>	John P. LaBelle

Inspection Comments: house locked up unable to inspect

Insp Mec - 401 Rough HVAC	1/27/2007	1/29/2007	<u>CNCL</u>	John P. LaBelle
Insp Mec - 401 Rough HVAC	2/1/2007	2/2/2007	<u>DONE</u>	John P. LaBelle

Inspection Comments: check float switch on final

Insp Plum - 202 Tub Set	2/9/2007	2/12/2007	<u>DONE</u>	Corey L Sellers
Insp Struct - 105 Framing	2/15/2007	2/16/2007	<u>DONE</u>	Randy R Southard
Insp Struct - 107 Insulation	2/19/2007	2/20/2007	<u>PART</u>	Randy R Southard

Inspection Comments: Walls.

Insp Roof - 501 Roof Dry In	2/27/2007	3/1/2007	<u>DONE</u>	James C. Meisberger
Insp Struct-130 Shtg-strap-eng	3/6/2007	3/7/2007	<u>ALDN</u>	Randy R Southard
Insp Roof - 502 Roof In Proces	3/7/2007	3/8/2007	<u>DONE</u>	James C. Meisberger
Insp Roof - 503 Final Roof	3/13/2007	3/14/2007	<u>DONE</u>	James C. Meisberger
Insp Plum - 204 Final Plumbing	6/8/2010	6/9/2010	<u>CNCL</u>	Allen Soto

Inspection Comments: No access 8:20 am.

Insp Plum - 204 Final Plumbing	6/9/2010	6/10/2010	<u>FAIL</u>	Allen Soto
--------------------------------	----------	-----------	-------------	------------

Inspection Comments: Open drain, No shut off valves for lavatorys, SA missing & Hose bib p2902.

Insp Ele - 305 Final Electric	6/15/2010	6/16/2010	<u>DONE</u>	Greg Fleishman
Insp Plum - 204 Final Plumbing	6/15/2010	6/16/2010	<u>DONE</u>	Allen Soto
Insp Mec - 402 Final HVAC	6/17/2010	6/18/2010	<u>FAIL</u>	Daniel L Belisle

Inspection Comments: Can not use t-fin for a connector on range vent, seal penetrations in mechanical closet, mark heater size on air handler on 1st fl. No float switch in secondary on air handler on 2nd fl. Seal lineset cover. No tonage or kw listed on permit, large condenser has no ID tag to show tonage and is not secured to pad.

Insp Struct - 106 Final Frame	6/17/2010	6/18/2010	<u>DONE</u>	Bill J Sammons
-------------------------------	-----------	-----------	-------------	----------------

Inspection Comments: Insulation Complete

Insp Mec - 402 Final HVAC	6/23/2010	6/24/2010	<u>PART</u>	Daniel L Belisle
---------------------------	-----------	-----------	-------------	------------------

Inspection Comments: All A/C problems taken care of except the load calc's call for 2 - 2.5 ton systems you have 1 - 2.5 ton and 1 - 4 ton system, this will have to be corrected.

Insp Mec - 402 Final HVAC	6/30/2010	6/30/2010	<u>DONE</u>	Daniel L Belisle
---------------------------	-----------	-----------	-------------	------------------

Inspection Comments: SAW LOAD CALS

Insp Struct - 125 Shutter	7/20/2010	7/21/2010	<u>DONE</u>	Bill J Sammons
---------------------------	-----------	-----------	-------------	----------------

Fees

Item	Fee Amount	Fee Remaining
New Bldg Construction & Addn	128.30	0.00

P4

Completion	100.00	0.00
MEC New const., additions &	50.00	0.00
PLU New const & add./renov.	50.00	0.00
Change of Contractor	50.00	0.00
Re-inspection Fee	50.00	0.00
Re-inspection Fee	50.00	0.00
ELE New Const & Add/Renovation	40.00	0.00
Shutter Permit	35.00	0.00
ROF Residential - Roof	35.00	0.00
Plan Review	25.00	0.00
Re-inspection Fee	25.00	0.00
Re-inspection Fee	25.00	0.00
Re-inspection Fee	25.00	0.00
Re-inspection Fee	25.00	0.00
Administration	6.42	0.00
Radon	6.42	0.00
Total	\$726.14	\$0.00

The total fee due on this permit/application is \$0.00

NOW AVAILABLE! Pay Re-Inspection Fees Online

[Click here to schedule an Inspection Online](#)

Documents for Activities

Compliance Cert. Issued (F) [frescerc](#) Document Snapshot - PDF of form: frescerc (62403 bytes)

If you are unable to open a 'Certificate of Occupancy or an Elevation Certificate', please send an email to [Geoff Rinehart](#). If you are unable to open any other type of document, please send an email to [Jean Mars](#). Please include the case number and the name of the document you are looking to receive. For General Permitting information please call 239-533-8329 or email eConnect@leegov.com.

[Back to Search](#)

[Top of Page](#)



Version: 3.5.3.20051221.03

Copyright © 2005 by Accela, Inc.

To comment on this page, send email to eConnect@leegov.com or call (239) 533-8329.



FLOOD INSURANCE
RATE

000030567836 000253462751 4

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:			
A1. Building Owner's Name	PETER CARSTENS	Policy Number			
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	1358 HOPEDALE DR.	Company NAIC Number			
City	FORT MYERS	State	FLORIDA	ZIP Code	33919

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
03-45-24-04-0000D.0040

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL

A5. Latitude/Longitude: Lat. 26.590258 Long. -81.894841 Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1A

A8. For a building with a crawlspace or enclosure(s):

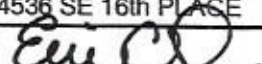
a) Square footage of crawlspace or enclosure(s)	<u>0</u> sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade	<u>0</u>
c) Total net area of flood openings in A8.b	<u>0</u> sq in
d) Engineered flood openings?	☐ Yes ☒ No

A9. For a building with an attached garage:

a) Square footage of attached garage	<u>294</u> sq ft
b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade	<u>0</u>
c) Total net area of flood openings in A9.b	<u>0</u> sq in
d) Engineered flood openings?	☐ Yes ☒ No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number LEE COUNTY 125124		B2. County Name LEE COUNTY, UNINCORPORATED AREA		B3. State FLORIDA	
B4. Map/Panel Number 12071C0410	B5. Suffix F	B6. FIRM Index Date 8/28/08	B7. FIRM Panel Effective/Revised Date 8/28/08	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 7
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. ☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date _____ ☐ CBRS ☐ OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE. Benchmark Utilized <u>98-2709</u> Vertical Datum <u>NGVD 1929</u> Conversion/Comments <u>ELEVATIONS BELOW WERE CONVERTED TO NAVD 1988 USING VERTCON SOFTWARE</u>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>8.6</u> ☒ feet ☐ meters (Puerto Rico only)
b) Top of the next higher floor	<u>20.4</u> ☒ feet ☐ meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u> ☒ feet ☐ meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>7.9</u> ☒ feet ☐ meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>8.2</u> ☒ feet ☐ meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG)	<u>7.6</u> ☒ feet ☐ meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG)	<u>8.2</u> ☒ feet ☐ meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u> ☒ feet ☐ meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
☒ Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No	
Certifier's Name	CHARLES E. DAVIS OR ERIC C. DAVIS
License Number	#4839 OR #5544
Title	SURVEYOR
Company Name	DAVIS SURVEYING, INC.
Address	4536 SE 16th PLACE
City	CAPE CORAL
State	FL
ZIP Code	33904
Signature	
Date	6/25/10
Telephone	239-549-6454

6/25/10

PLACE SEAL HERE



#4839 OR #5544

IMPORTANT: In these spaces, copy the corresponding information from Section A.

For Insurance Company Use:

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1358 HOPEDALE DR.

Policy Number

City FORT MYERS

State FLORIDA

ZIP Code
33919

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments 1) SECTION C, ITEM e, REFERS TO THE A/C PLATFORM. 2) LAT./LONG. COORDINATES FROM LOCAL GIS NAD 1983 DATUM

JOB# 10-0712

Signature



Date 6/25/10

☐ Check here if attachments**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet _____ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet _____ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet _____ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ feet _____ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet _____ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address

City

State

ZIP Code

Signature

Date

Telephone

Comments

☐ Check here if attachments**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number

G5. Date Permit Issued

G6. Date Certificate Of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building _____ feet _____ meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site _____ feet _____ meters (PR) Datum _____

G10. Community's design flood elevation _____ feet _____ meters (PR) Datum _____

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

☐ Check here if attachments

Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1358 HOPEDALE DR.			For Insurance Company Use: Policy Number
City FORT MYERS	State FLORIDA	ZIP Code 33919	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.

FRONT VIEW



REAR VIEW



Uniform Mitigation Verification Inspection Form

Maintain a copy of this form with the insurance policy

Inspection Date: 6-18-10		
Owner Information		
Owner Name: Doris Carstens		Contact Person: Doris
Address: 1358 Hopedale Drive		Home Phone: 239-362-0885
City: Fort Myers	Zip: 33919	Work Phone:
County: Lee		Cell Phone:
Insurance Company:		Policy #:
Year of Home: 1958	# of Stories: 2	Email: marsell@planetbg.com

1. Kevin House (print name of the individual who actually performed the inspection), personally conducted the inspection of the residence identified on this form and in my professional opinion, all the data I reported is true and correct.

1. **Building Code:** What building code was used to design and build the structure? Permit 8-31-05 complete remodel 2005
- ☐ A. 1994 South Florida Building Code (building permit application date of 9/1/1994 or later in Miami-Dade and Broward Counties (also known as the High Velocity Hurricane Zone (HVHZ)).
 - ☐ B. Building code prior to the 1994 South Florida Building Code (building permit application date of 8/31/1994 or earlier in Miami-Dade and Broward Counties (HVHZ)).
 - ☒ C. 2001 Florida Building Code (building permit application date of 3/1/2002 or later outside the HVHZ).
 - ☒ D. Building code prior to the 2001 Florida Building Code (building permit application date of 2/28/2002 or earlier outside the HVHZ). foundation/walls 1958 Remodel 2005
 - ☐ E. Unknown or undetermined.

2. **Predominant Roof Covering:**
- Permit Application Date: 8-31-05 or Date of Installation: _____
- ☒ A. At a minimum meets the 2001 Florida Building Code or the 1994 South Florida Building Code and has a Miami-Dade NOA or FBC 2001 Product Approval listing demonstrating compliance with ASTM D 3161 (enhanced for 110MPH) OR ASTM D 7158 (F, G or H), OR FBC TAS 100-95 and TAS 107-95, OR FMRC 4470 and/or 4471 (for metal roofs).
 - ☐ B. Does not meet the above minimum requirements.
 - ☐ C. Unknown or undetermined.

NOTE: At least one photo documenting the existence of each visible and accessible construction or mitigation attribute marked in Sections 3 through 9 must accompany this form.

3. **Roof Deck Attachment:** What is the weakest form of roof deck attachment?
- ☐ A. Plywood/Oriented strand board (OSB) roof sheathing attached to the roof truss/rafter (spaced a maximum of 24" o.c.) by staples or 6d nails spaced at 6" along the edge and 12" in the field. -OR- Batten decking supporting wood shakes or wood shingles. -OR- Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that has an equivalent mean uplift resistance of 55 psf.
 - ☐ B. Plywood/OSB roof sheathing with a minimum thickness of 7/16" attached to the roof truss/rafter (spaced a maximum of 24" o.c.) by 8d common nails spaced 6" along the edge and 12" in the field. -OR- Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that has an equivalent mean uplift resistance of 103 psf.
 - ☒ C. Plywood/OSB roof sheathing with a minimum thickness of 7/16" attached to the roof truss/rafter (spaced a maximum of 24" o.c.) by 8d common nails spaced 6" along the edge and 6" in the field. -OR- Dimensional lumber/Tongue & Groove decking with a minimum of 2 nails per board. -OR- Any system of screws, nails, adhesives, other deck fastening system or truss/rafter spacing that has an equivalent mean uplift resistance of 182 psf.
 - ☐ D. Reinforced Concrete Roof Deck.

Inspectors Initials XH Property Address 1358 Hopedale Dr. Fort Myers FL 33919

*This verification form is valid up to five (5) years provided no material changes have been made to the structure.
OIR-B1-1802 (Rev. 02/10) Adopted by Rule 690-170.0155

- ☐ E. Other: _____
☐ F. Unknown or unidentified.
☐ G. No attic access.

4. **Roof to Wall Attachment:** What is the weakest roof to wall connection?

- ☐ A. Toe Nails Rafter/truss anchored to top plate of wall using nails driven at an angle through the rafter/truss and attached to the top plate of the wall.
☐ B. Clips Metal attachments on every rafter/truss that are nailed to one side (or both sides in the case of a diamond type clip) of the rafter/truss and attached to the top plate of the wall frame or embedded in the bond beam.
☒ C. Single Wraps Metal Straps must be secured to every rafter/truss with a minimum of 3 nails, wrapping over and securing to the opposite side of the rafter/truss with a minimum of 1 nail. The Strap must be attached to the top plate of the wall frame or embedded in the bond beam in at least one place.
☐ D. Double Wraps Both Metal Straps must be secured to every rafter/truss with a minimum of 3 nails, wrapping over and securing to the opposite side of the rafter/truss with a minimum of 1 nail. Each Strap must be attached to the top plate of the wall frame or embedded in the bond beam in at least one place.
☐ E. Structural Anchor bolts structurally connected or reinforced concrete roof.
☐ F. Other: _____
☐ G. Unknown or Unidentified
☐ H. No attic access

5. **Roof Geometry:** What is the roof shape(s)? (Porches or carports that are attached only to the fascia or wall of the host structure and not structurally connected to the main roof system are not considered in the roof geometry determination.)

- ☐ A. Hip Roof Hip roof with no other roof shapes greater than 10% of the total building perimeter.
☒ B. Non-Hip Roof Any other roof shape or combination of roof shapes including hip, gable, gambrel, mansard and other roof shapes not including flat roofs.
☐ C. Flat Roof Flat roof shape greater than 100 square feet or 10% of the entire roof, whichever is greater.

6. **Gable End Bracing:** For roof structures that contain gables, please check the weakest that apply:

- ☐ A. Gable End(s) are braced at a minimum in accordance with the 2001 Florida Building Code.
☐ B. Does not meet the above minimum requirements.
☒ C. Not applicable unknown or unidentified.

7. **Wall Construction Type:** Check all wall construction types for exterior walls of the structure and percentages for each:

- ☒ A. Wood Frame 40 %
☐ B. Un-Reinforced Masonry _____ %
☒ C. Reinforced Masonry 60 %
☐ D. Poured Concrete _____ %
☐ E. Other: _____ %

8. **Secondary Water Resistance (SWR):** (standard underlayments or hot mopped felts are not SWR)

- ☒ A. SWR Self adhering polymer modified bitumen roofing underlayment applied directly to the sheathing or foam adhesive SWR barrier (not foamed on insulation) applied as a secondary means to protect the dwelling from water intrusion.
☐ B. No SWR
☐ C. Unknown or undetermined.

9. **Opening Protection:** What is the weakest form of wind borne debris protection installed on the structure? (Exterior openings include, but are not limited to: windows, doors, garage doors, skylights, etc. Product approval may be required for opening protection devices without proper rating identification.)

- ☐ A. All Exterior Openings (Glazed and Unglazed) All exterior openings are fully protected at a minimum with impact resistant coverings, impact resistant doors and/or impact resistant window units that are listed as wind borne debris protection devices in the product approval system of the State of Florida or Miami-Dade County and meet the requirements of one of

Inspectors Initials KA Property Address 1358 Hopedale Dr. Fort Myers FL 33919

*This verification form is valid up to five (5) years provided no material changes have been made to the structure.
 OIR-B1-1802 (Rev. 02/10) Adopted by Rule 690-170.0155

the following for "Cyclic Pressure and Large Missile Impact". For the HVHZ, systems must have either a Miami-Dade NOA or FBC Approval marked "For Use in the HVHZ".

- ☐ Miami-Dade County Notice of Acceptance (NOA) 201, 202 and 203. (Large Missile - 9 lb.)
- ☐ Florida Building Code Testing Application Standard (TAS) 201, 202 and 203. (Large Missile - 9 lb.)
- ☐ American Society for Testing and Materials (ASTM) E 1886 and ASTM E 1996. (Large Missile - 9 lb.)
- ☐ Southern Standards Technical Document (SSTD) 12. (Large Missile - 9 lb.)
- ☐ For Skylights Only: ASTM E 1886/E 1996. (Large Missile - 4.5 lb.)
- ☐ For Garage Doors Only: ANSI/DASMA 115. (Large Missile - 9 lb.)
- ☐ B. All exterior openings are fully protected at a minimum with impact resistant coverings, impact resistant doors and/or impact resistant window units that are listed as windborne debris protection devices in the product approval system of the State of Florida or Miami-Dade County and meet the requirements of one of the following for "Cyclic Pressure and Large Missile Impact":
 - ☐ ASTM E 1886 and ASTM E 1996. (Large Missile - 4.5 lb.)
 - ☐ SSTD 12. (Large Missile - 4 lb. to 8 lb.)
 - ☐ For Skylights Only: ASTM E 1886/E 1996. (Large Missile - 2 to 4.5 lb.)
- ☐ C. All exterior openings are fully protected at a minimum with impact resistant coverings, impact resistant doors and/or impact resistant window units that are listed as windborne debris protection devices in the product approval system of the State of Florida or Miami-Dade County and meet the requirements of one of the following for "Cyclic Pressure and Small Missile Impact":
 - ☐ Miami-Dade County NOA 201, 202 and 203. (Small Missile - 2 grams)
 - ☐ Florida Building Code TAS 201, 202 and 203. (Small Missile - 2 grams)
 - ☐ ASTM E 1886 and ASTM E 1996. (Small Missile - 2 grams)
 - ☐ SSTD 12. (Small Missile - 2 grams)
- ☐ D. All exterior openings are fully protected with windborne debris protection devices that cannot be identified as Miami-Dade or Florida Building Code (FBC) product approved. This does not include plywood/OSB or plywood alternatives (see Answer "H").

All Glazed Exterior Openings

- ☐ E. All glazed exterior openings are fully protected at a minimum with impact resistant coverings and/or impact resistant window units that meet the requirements of one of the standards listed in Answer "A" of this question. (Large Missile - 9 lb.)
- ☐ F. All glazed exterior openings are fully protected at a minimum with impact resistant coverings and/or impact resistant window units that meet the requirements of one of the standards listed in Answer "B" of this question. (Large Missile - 2 lb. - 8 lb.)
- ☐ G. All glazed exterior openings are fully protected at a minimum with impact resistant coverings and/or impact resistant window units that meet the requirements of one of the standards listed in Answer "C" of this question. (Small Missile - 2 grams)
- ☐ H. All glazed exterior openings are covered with plywood/OSB meeting the requirements of Section 1609 and Table 1609.1.4 of the 2004 FBC (with 2006 supplements).
- ☐ I. All glazed exterior openings are fully protected with wind-borne debris protection devices that cannot be identified as Miami-Dade or FBC product approved. This does not include plywood/OSB or other plywood alternatives that do not meet Answer H (see Answer "K").

None or Some Glazed Openings

- ☐ J. At least one glazed exterior opening does not have wind-borne debris protection.
- ☒ K. No glazed exterior openings have wind-borne debris protection. This includes plywood/OSB or plywood alternative systems that do not meet Answer "H".
- ☐ L. Unknown or undetermined.

Inspectors Initials XH Property Address 1358 Hopedale Dr. Fort Myers FL 33919

*This verification form is valid up to five (5) years provided no material changes have been made to the structure.
OIR-B1-1802 (Rev. 02/10) Adopted by Rule 690-170.0155

Page 3 of 4

MITIGATION INSPECTIONS MUST BE CERTIFIED BY A QUALIFIED INSPECTOR. Section 627.711(2), Florida Statutes, provides a listing of individuals who may sign this form.		
Qualified Inspector Name: <u>Kevin House</u>	License Type: <u>CBC</u>	License # or MSFH certificate #: <u>CBC1250561</u>
Inspection Company: <u>KH Construction LLC</u>	Phone: <u>239-437-1639</u>	

Qualified Inspector – I hold an active license or certificate as a: (check one)

- ☐ Hurricane mitigation inspector certified by the My Safe Florida Home Program.
- ☐ Building code inspector certified under Section 468.607, Florida Statutes.
- ☒ General, building or residential contractor licensed under Section 489.111, Florida Statutes.
- ☐ Professional architect licensed under Section 481.213, Florida Statutes.
- ☐ Professional engineer licensed under Section 471.015, Florida Statutes.
- ☐ Other individual or entity recognized by the insurer as possessing the necessary qualifications to properly complete this form pursuant to Section 627.711(2)(f), Florida Statutes.

Individuals signing this form must have their license or certificate in an "Active" status at time of the inspection.

I, Kevin House (print name) am a qualified inspector and I personally performed the inspection or had my employee (N/A) (print name) perform the inspection and I agree to be responsible for his/her work.

Qualified Inspector Signature: Kevin House Date: 6-18-10

An individual or entity who knowingly provides or utters a false or fraudulent mitigation verification form with the intent to obtain or receive a discount on an insurance premium to which the individual or entity is not entitled commits a misdemeanor of the first degree (Section 627.711(3), Florida Statutes). The Qualified Inspector who certifies this form is strictly liable for all acts, statements, concealment of facts, omissions, and documentation provided by his or her employee who actually performed the inspection.

Homeowner to complete: I certify that the named Qualified Inspector or his or her employee did perform an inspection of the residence identified on this form and that proof of identification was provided to me or my Authorized Representative.

Signature: [Signature] Date: 06/20/10

An individual or entity who knowingly provides or utters a false or fraudulent mitigation verification form with the intent to obtain or receive a discount on an insurance premium to which the individual or entity is not entitled commits a misdemeanor of the first degree. (Section 627.711(3), Florida Statutes)

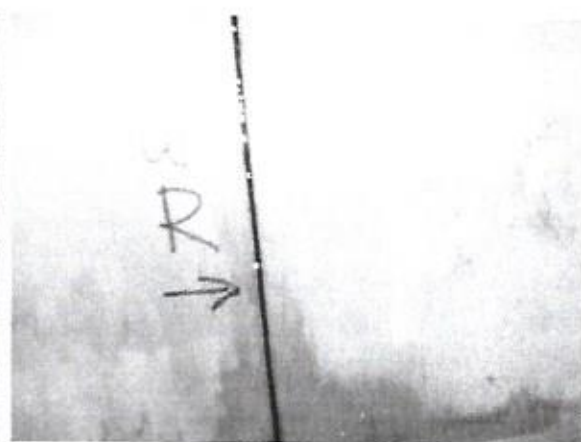
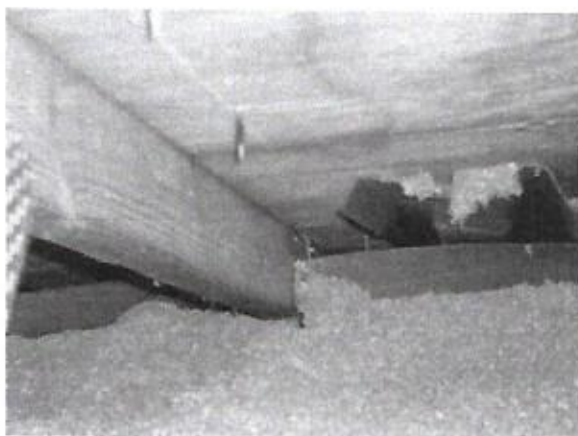
The definitions on this form are for inspection purposes only and cannot be used to certify any product or construction feature as offering protection from hurricanes.

Inspectors Initials KH Property Address 1358 Hopetown Drive Fort Myers FL 33919

*This verification form is valid up to five (5) years provided no material changes have been made to the structure.
 OIR-B1-1802 (Rev. 02/10) Adopted by Rule 690-170.0155

Page 4 of 4





Corporate Warranty Deed

This Indenture, made this 10 day of Aug, 2010,
A.D.

Between

LCD HOMES, INC, a corporation existing under the laws of the State of
Florida,

whose post office address is: 392 NORWOOD CT., FORT MYERS, FL
33912, Grantor, and

PETER CARSTENS and DORIS CARSTENS, Husband and Wife,
whose post office address is: 1358 HOPEDALE DR, Fort Myers, Florida
33919, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it
in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the
said Grantee forever, the following described land, situate, lying and being in the County of Lee, State of Florida, to
wit:

Lot(s) 4, Block D, TWIN PALM ESTATES, according to the plat thereof, as recorded in Plat Book 6,
Page(s) 71, inclusive, in the Public Records of Lee County, Florida.

Subject To taxes for the calendar year 2010, covenants, restrictions and easements of record, if any.
Parcel Identification Number: 03-45-24-04-0000D.0040,

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise
appertaining.

To Have and to Hold, the same in fee simple forever.

And, the said Grantor does hereby fully warrant the title to said land, and will defend the same against the
lawful claims of all persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly
authorized officer and caused its corporate seal to be affixed the day and year first above written.

Signed and Sealed in Our Presence:

TWO Separate Witnesses Required

LCD HOMES, INC

Witness

Printed Name:

Stephen D Merkle

By:

David R. Zager
Its, President

Witness

Printed Name:

L. J. JASON

(Corporate Seal)

State of

County of

FL

Lee

The foregoing instrument was acknowledged before me this 10 day of August,
2010, by David R. Zager, President of LCD HOMES, INC, a Florida Corporation, on behalf of the
corporation. He/She is personally known to me or has produced a _____ as
identification.



Notary Public Signature

Notary

Printed Name:

My Commission Expires:

Prepared by:
Stephen D. Merkle, an employee of
CAPE CORAL TITLE INSURANCE AGENCY, INC.,
1307 Cape Coral Parkway East
Cape Coral, Florida 33904
File Number: 53816

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **Barton Residence**
Address: **1358 Hopedale Drive**
City, State: **Fort Myers, FL**
Owner: **Barton Residence**
Climate Zone: **South**

Builder: _____
Permitting Office: _____
Permit Number: _____
Jurisdiction Number: _____

- | | | |
|--|--------------------------------|---------------------|
| 1. New construction or existing | Addition | _____ |
| 2. Single family or multi-family | Single family | _____ |
| 3. Number of units, if multi-family | 1 | _____ |
| 4. Number of Bedrooms | 4 | _____ |
| 5. Is this a worst case? | No | _____ |
| 6. Conditioned floor area (ft ²) | 3743 ft ² | _____ |
| 7. Glass area & type | Single Pane | Double Pane |
| a. Clear glass, default U-factor | 0.0 ft ² | 0.0 ft ² |
| b. Default tint | 646.0 ft ² | 0.0 ft ² |
| c. Labeled U or SHGC | 0.0 ft ² | 0.0 ft ² |
| 8. Floor types | | |
| a. Slab-On-Grade Edge Insulation | R=0.0, 222.8(p) ft | _____ |
| b. N/A | | _____ |
| c. N/A | | _____ |
| 9. Wall types | | |
| a. Frame, Wood, Adjacent | R=19.0, 1640.0 ft ² | _____ |
| b. Concrete, Int Insul, Exterior | R=4.1, 2228.0 ft ² | _____ |
| c. N/A | | _____ |
| d. N/A | | _____ |
| e. N/A | | _____ |
| 10. Ceiling types with (RBS) | | |
| a. Under Attic | R=30.0, 2376.0 ft ² | _____ |
| b. N/A | | _____ |
| c. N/A | | _____ |
| 11. Ducts(RBS) | | |
| a. Sup: Unc. Ret: Con. AH: Garage | Sup. R=6.0, 50.0 ft | _____ |
| b. Sup: Con. Ret: Unc. AH: Interior | Sup. R=6.0, 50.0 ft | _____ |

- | | |
|--|----------------------------------|
| 12. Cooling systems | |
| a. Central Unit | Cap: 30.0 kBtu/hr
SEER: 12.00 |
| b. Central Unit | Cap: 30.0 kBtu/hr
SEER: 12.00 |
| c. N/A | |
| 13. Heating systems | |
| a. Electric Strip | Cap: 28.0 kBtu/hr
COP: 1.00 |
| b. Electric Strip | Cap: 28.0 kBtu/hr
COP: 1.00 |
| c. N/A | |
| 14. Hot water systems | |
| a. Electric Resistance | Cap: 50.0 gallons
EF: 0.90 |
| b. N/A | |
| c. Conservation credits | |
| (HR-Heat recovery, Solar | |
| DHP-Dedicated heat pump) | |
| 15. HVAC credits | PT, _____ |
| (CF-Ceiling fan, CV-Cross ventilation, | |
| HF-Whole house fan, | |
| PT-Programmable Thermostat, | |
| MZ-C-Multizone cooling, | |
| MZ-H-Multizone heating) | |

Glass/Floor Area: 0.17

Total as-built points: 48897
Total base points: 55123

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: J. R. O.
DATE: 7/5/05

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]
DATE: 7-8-05

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____
DATE: _____

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 1358 Hopedale Drive, Fort Myers, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang		Area X SPM X SOF = Points				
					Ornt	Len	Hgt				
.18	3743.0	32.50	21896.6	Single, Tint	NW	2.0	20.0	24.0	39.52	1.00	945.0
				Single, Tint	NW	2.0	18.0	32.0	39.52	1.00	1259.4
				Single, Tint	NW	2.0	18.0	40.0	39.52	1.00	1574.3
				Single, Tint	NE	2.0	18.0	40.0	45.70	1.00	1819.4
				Single, Tint	SE	2.0	18.0	20.0	66.34	1.00	1325.2
				Single, Tint	NE	2.0	16.0	8.0	45.70	0.99	362.9
				Single, Tint	NE	2.0	15.0	6.0	45.70	0.99	271.1
				Single, Tint	SE	2.0	18.0	32.0	66.34	1.00	2120.2
				Single, Tint	SW	2.0	18.0	16.0	60.87	1.00	970.9
				Single, Tint	SE	2.0	20.0	96.0	66.34	1.00	6361.6
				Single, Tint	SE	2.0	20.0	20.0	66.34	1.00	1325.3
				Single, Tint	SW	2.0	18.0	20.0	60.87	1.00	1213.7
				Single, Tint	NW	2.0	6.0	40.0	39.52	0.88	1385.9
				Single, Tint	NE	2.0	6.0	48.0	45.70	0.87	1901.5
				Single, Tint	NE	2.0	3.0	12.0	45.70	0.69	378.9
				Single, Tint	NE	2.0	6.0	16.0	45.70	0.87	633.8
				Single, Tint	SW	2.0	8.0	64.0	60.87	0.90	3502.1
				Single, Tint	SW	2.0	8.0	40.0	60.87	0.90	2188.8
				Single, Tint	SE	2.0	5.0	8.0	66.34	0.77	407.5
				Single, Tint	SE	2.0	5.0	12.0	66.34	0.77	611.2
				Single, Tint	SW	2.0	5.0	12.0	60.87	0.77	565.9
				Single, Tint	NW	2.0	8.0	40.0	39.52	0.93	1463.1
				As-Built Total:				646.0	32587.5		
WALL TYPES				Area X BSPM = Points		Type	R-Value		Area X SPM = Points		
Adjacent	1640.0	1.00	1640.0			Frame, Wood, Adjacent	19.0	1640.0	0.60	984.0	
Exterior	2228.0	2.70	6015.6			Concrete, Int Insul, Exterior	4.1	2228.0	2.32	5157.8	
Base Total:	3868.0		7655.6			As-Built Total:			3868.0	6141.8	
DOOR TYPES				Area X BSPM = Points		Type	Area X SPM = Points				
Adjacent	17.7	2.60	46.0			Adjacent Insulated			17.7	2.60	46.0
Exterior	0.0	0.00	0.0								
Base Total:	17.7		46.0			As-Built Total:			17.7	46.0	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 1358 Hopedale Drive, Fort Myers, FL,

PERMIT #:

BASE				AS-BUILT					
CEILING TYPES Area X BSPM = Points				Type (Rad. Barr.)	R-Value	Area X SPM X SCM = Points			
Under Attic	2376.0	2.80	6652.8	Under Attic	30.0	2376.0	2.77 X 0.70 4607.1		
Base Total:	2376.0		6652.8	As-Built Total:		2376.0	4607.1		
FLOOR TYPES Area X BSPM = Points				Type	R-Value	Area X SPM = Points			
Slab	222.8(p)	-20.0	-4456.0	Slab-On-Grade Edge Insulation	0.0	222.8(p)	-20.00 -4456.0		
Raised	0.0	0.00	0.0						
Base Total:			-4456.0	As-Built Total:		222.8	-4456.0		
INFILTRATION Area X BSPM = Points				Area X SPM = Points					
	3743.0	18.79	70331.0			3743.0	18.79 70331.0		
Summer Base Points: 102125.9				Summer As-Built Points: 109257.4					
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component	X Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Cooling Points
						(DM x DSM x AHU)			
				109257.4	0.500	(1.041 x 1.165 x 1.00)	0.284	0.950	16697.2
				109257.4	0.500	(1.003 x 1.165 x 0.90)	0.284	0.950	16697.2
102125.9	0.4266		43566.9	109257.4	1.00	1.132	0.284	0.950	33394.3

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 1358 Hopedale Drive, Fort Myers, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang		Area X WPM X WOF = Points				
.18	3743.0	2.36	1590.0	Omt	Len	Hgt					
				Single, Tint	NW	2.0	20.0	24.0	6.09	1.00	145.7
				Single, Tint	NW	2.0	18.0	32.0	6.09	1.00	194.3
				Single, Tint	NW	2.0	18.0	40.0	6.09	1.00	242.8
				Single, Tint	NE	2.0	18.0	40.0	5.96	1.00	238.1
				Single, Tint	SE	2.0	18.0	20.0	4.57	1.02	92.7
				Single, Tint	NE	2.0	16.0	8.0	5.96	1.00	47.6
				Single, Tint	NE	2.0	15.0	6.0	5.96	1.00	35.7
				Single, Tint	SE	2.0	18.0	32.0	4.57	1.02	148.4
				Single, Tint	SW	2.0	18.0	16.0	5.26	1.00	84.1
				Single, Tint	SE	2.0	20.0	96.0	4.57	1.01	444.5
				Single, Tint	SE	2.0	20.0	20.0	4.57	1.01	92.6
				Single, Tint	SW	2.0	18.0	20.0	5.26	1.00	105.1
				Single, Tint	NW	2.0	6.0	40.0	6.09	0.99	241.0
				Single, Tint	NE	2.0	6.0	48.0	5.96	1.00	285.1
				Single, Tint	NE	2.0	3.0	12.0	5.96	0.99	71.0
				Single, Tint	NE	2.0	6.0	16.0	5.96	1.00	95.0
				Single, Tint	SW	2.0	8.0	64.0	5.26	1.01	340.0
				Single, Tint	SW	2.0	8.0	40.0	5.26	1.01	212.5
				Single, Tint	SE	2.0	5.0	8.0	4.57	1.08	39.4
				Single, Tint	SE	2.0	5.0	12.0	4.57	1.08	59.1
				Single, Tint	SW	2.0	5.0	12.0	5.26	1.03	65.0
				Single, Tint	NW	2.0	8.0	40.0	6.09	0.99	241.7
				As-Built Total: 646.0 3521.7							
WALL TYPES											
Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	1640.0	0.50	820.0	Frame, Wood, Adjacent	19.0	1640.0	0.30				492.0
Exterior	2228.0	0.60	1336.8	Concrete, Int Insul, Exterior	4.1	2228.0	1.03				2306.0
Base Total: 3868.0 2156.8				As-Built Total: 3868.0 2798.0							
DOOR TYPES											
Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	17.7	1.30	23.0	Adjacent Insulated	17.7 1.30 23.0						
Exterior	0.0	0.00	0.0								
Base Total: 17.7 23.0				As-Built Total: 17.7 23.0							

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 1358 Hopedale Drive, Fort Myers, FL,

PERMIT #:

BASE				AS-BUILT			
CEILING TYPES Area X BWPM = Points				Type (Rad. Barr.)	R-Value	Area X WPM X WCM =	Points
Under Attic	2376.0	0.10	237.6	Under Attic	30.0	2376.0 0.10 X 0.85	202.0
Base Total:	2376.0		237.6	As-Built Total:		2376.0	202.0
FLOOR TYPES Area X BWPM = Points				Type	R-Value	Area X WPM =	Points
Slab	222.8(p)	-2.1	-467.9	Slab-On-Grade Edge Insulation	0.0	222.8(p) -2.10	-467.9
Raised	0.0	0.00	0.0				
Base Total:			-467.9	As-Built Total:		222.8	-467.9
INFILTRATION Area X BWPM = Points				Area X WPM = Points			
	3743.0	-0.06	-224.6			3743.0 -0.06	-224.6
Winter Base Points: 3315.0				Winter As-Built Points: 5852.1			
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier X Credit Multiplier = Heating Points
				5852.1	0.500	(1.056 x 1.137 x 1.00)	1.000 0.950 3118.4
				5852.1	0.500	(1.008 x 1.137 x 0.91)	1.000 0.950 3118.4
3315.0		0.6274	2079.8	5852.1	1.00	1.122	1.000 0.950 6236.7

PERMIT #:

CODE COMPLIANCE STATUS

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 1358 Hopedale Drive, Fort Myers, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: 3 cfm/sq. ft. window area; .5 cfm/sq. ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 85.5

The higher the score, the more efficient the home.

Barton Residence, 1358 Hopedale Drive, Fort Myers, FL,

1. New construction or existing	Addition	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr
3. Number of units, if multi-family	1	SEER: 12.00	
4. Number of Bedrooms	4	b. Central Unit	Cap: 30.0 kBtu/hr
5. Is this a worst case?	No	SEER: 12.00	
6. Conditioned floor area (ft ²)	3743 ft ²	c. N/A	
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear - single pane	0.0 ft ² 0.0 ft ²	a. Electric Strip	Cap: 28.0 kBtu/hr
b. Clear - double pane	646.0 ft ² 0.0 ft ²	COP: 1.00	
c. Tint/other SHGC - single pane	0.0 ft ² 0.0 ft ²	b. Electric Strip	Cap: 28.0 kBtu/hr
d. Tint/other SHGC - double pane		COP: 1.00	
8. Floor types		c. N/A	
a. Slab-On-Grade Edge Insulation	R=0.0, 222.8(p) ft	14. Hot water systems	
b. N/A		a. Electric Resistance	Cap: 50.0 gallons
c. N/A		b. N/A	EF: 0.90
9. Wall types		c. Conservation credits	
a. Frame, Wood, Adjacent	R=19.0, 1640.0 ft ²	(HR-Heat recovery, Solar	
b. Concrete, Int Insul, Exterior	R=4.1, 2228.0 ft ²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	PT,
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types with (RBS)		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 2376.0 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts(RBS)			
a. Sup: Unc. Ret: Con. AH: Garage	Sup. R=6.0, 50.0 ft		
b. Sup: Con. Ret: Unc. AH: Interior	Sup. R=6.0, 50.0 ft		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: [Signature]

Date: 7-8-05

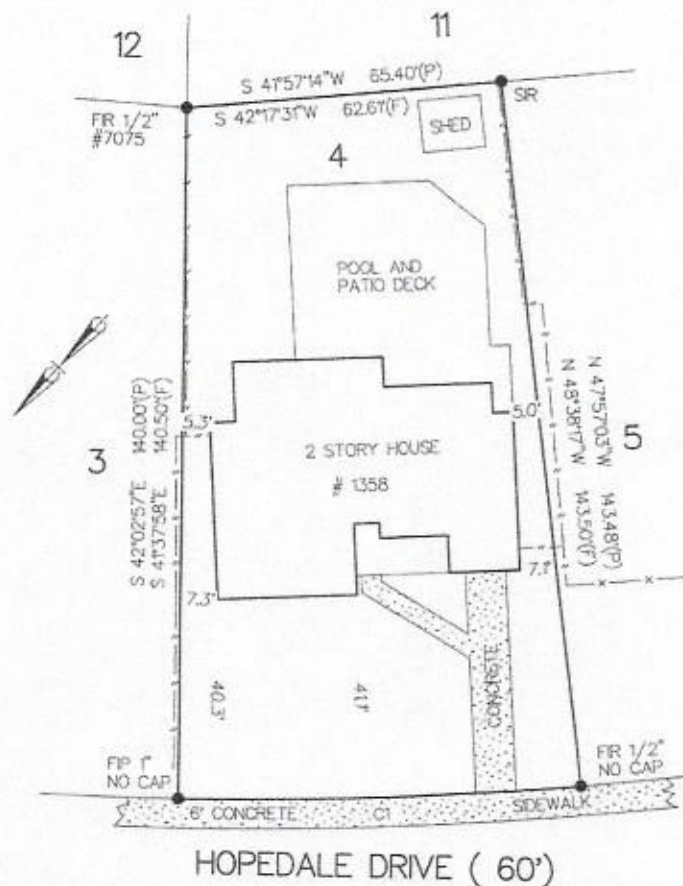
Address of New Home: 358 Hopedale Dr. City/FL Zip: 33919



*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

EnergyGauge® (Version: FLRCPB v3.30)

CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C 1	05° 54' 07"	776.01'	79.84'	40.00'	79.90'	N 45° 00' 00" E



BOUNDARY SURVEY

LOT 4 BLOCK D
TWIN PALM ESTATES
LEE COUNTY, FLORIDA
PLAT BOOK 6 PAGE 71

CERTIFIED TO:
REGIONS MORTGAGE
PETER CARSTENS
CAPE CORAL TITLE INSURANCE AGENCY, INC.
COMMONWEALTH LAND TITLE INSURANCE CO.

BASIS FOR BEARINGS:		HOPEDALE DRIVE -- PLAT BEARING		SCALE: 0 30	SURVEY DATE: 6/25/10		
COMMUNITY NUMBER	125124	MAP & PANEL NUMBER	12071C0410	SUFFIX	F	DATE OF FIRM INDEX	8/28/08
LEGEND		+0.0 = EXISTING ELEVATION ■ = UTILITY RISER ● = UTILITY POLE ⊙ = FIRE HYDRANT ☐ = CATCH BASIN (P) = PLAT (F) = FIELD (D) = DEED (C) = COMPUTED ---X--- = WIRE FENCE ---v--- = WOOD FENCE		THIS SURVEY IS HEREBY CERTIFIED CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM FROM ENCUMBRANCES. NO UNDERGROUND STRUCTURES HAVE BEEN LOCATED BY THIS SURVEY. ANY REFERENCE TO UNDERGROUND STRUCTURES IF ANY IS APPROXIMATE. UNLESS OTHERWISE SHOWN ALL FIELD MEASURED DIRECTIONS AND DISTANCES ARE IN SUBSTANTIAL AGREEMENT WITH THE DIRECTIONS & DISTANCES OF RECORD FOR THE PARCEL SURVEYED. THIS SURVEY MAY NOT BE USED BY OTHER THAN THE CERTIFIED TO PARTIES. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.		FIRM ZONE AE BASE FLOOD ELEVATION 7 5/25/10 C.E. DAVIS, LICENSE NO. 4839 -OR- ERIC C. DAVIS, FPM # 5544 LB #7075	
FR = FOUND IRON ROD FP = FOUND IRON PIPE FDH = FOUND DRILL HOLE FCM = FOUND CONCRETE MONUMENT SR = SET IRON ROD 1/2" LB#7075 SCM = SET CONCRETE MONUMENT PUE = PUBLIC UTILITY EASEMENT PU & DE = PUBLIC UTILITY & DRAINAGE EASEMENT SR&D = SET NAIL & DISK LB #7075 PRM = PERMANENT REFERENCE MONUMENT FN&D = FOUND NAIL & DISK POB=POINT OF BEGINNING FC= FENCE CORNER CONC=CONCRETE * =NOT FIELD MEASURED							



**DAVIS
SURVEYING INC.**
WWW.SURVEYLEE.COM

4536 SE 16th PLACE SUITE 3
CAPE CORAL, FLORIDA 33904
TEL(239)549-6454 FAX(239)549-2548
CONTACT@SURVEYLEE.COM

JOB NUMBER
10-0712

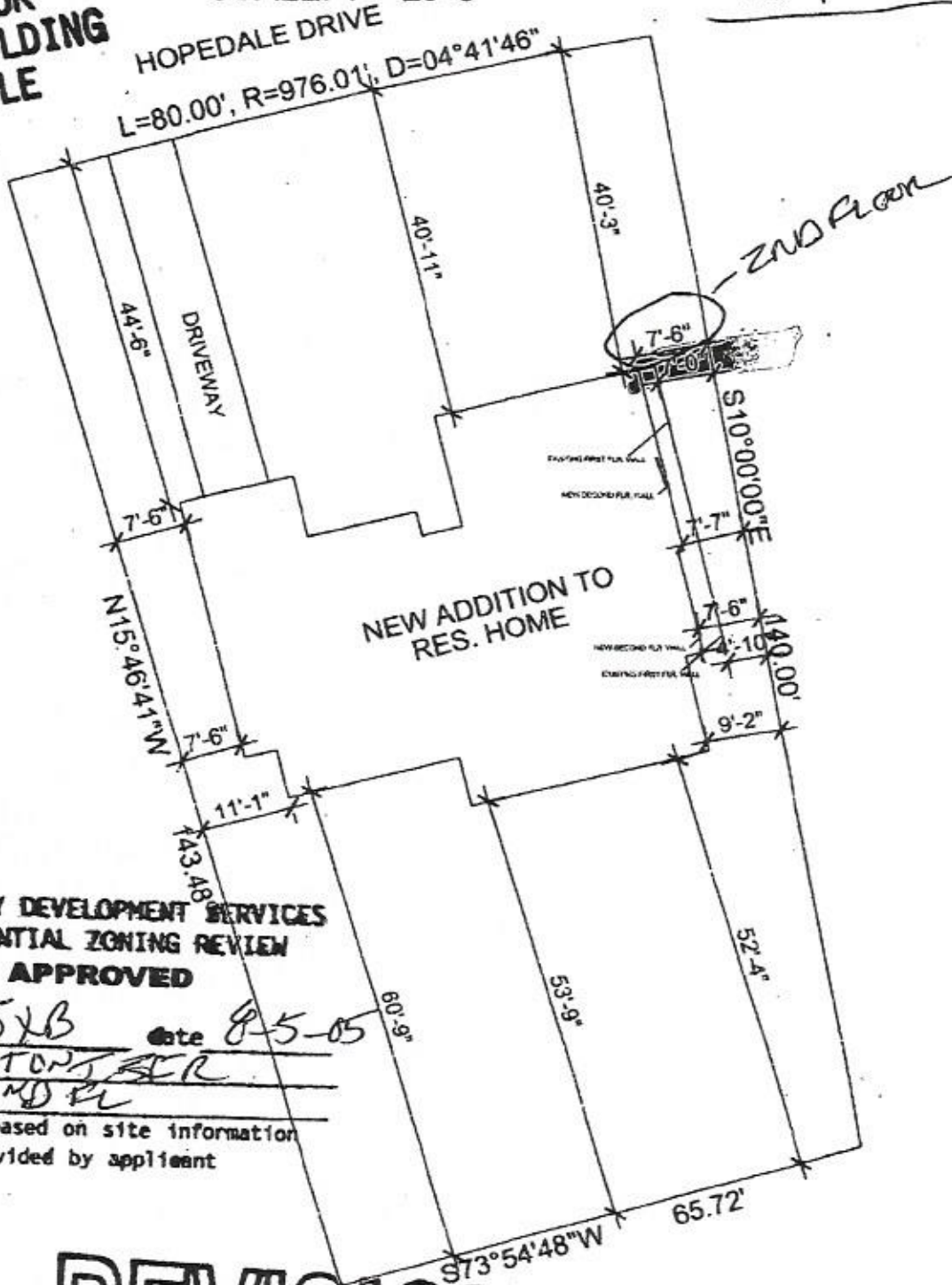
REVISION

RETAIN FOR
CODES & BUILDING
B.P. FILE

1358 HOPEDALE DRIVE

SCALE: 1" = 20'-0"

~~REVISION~~



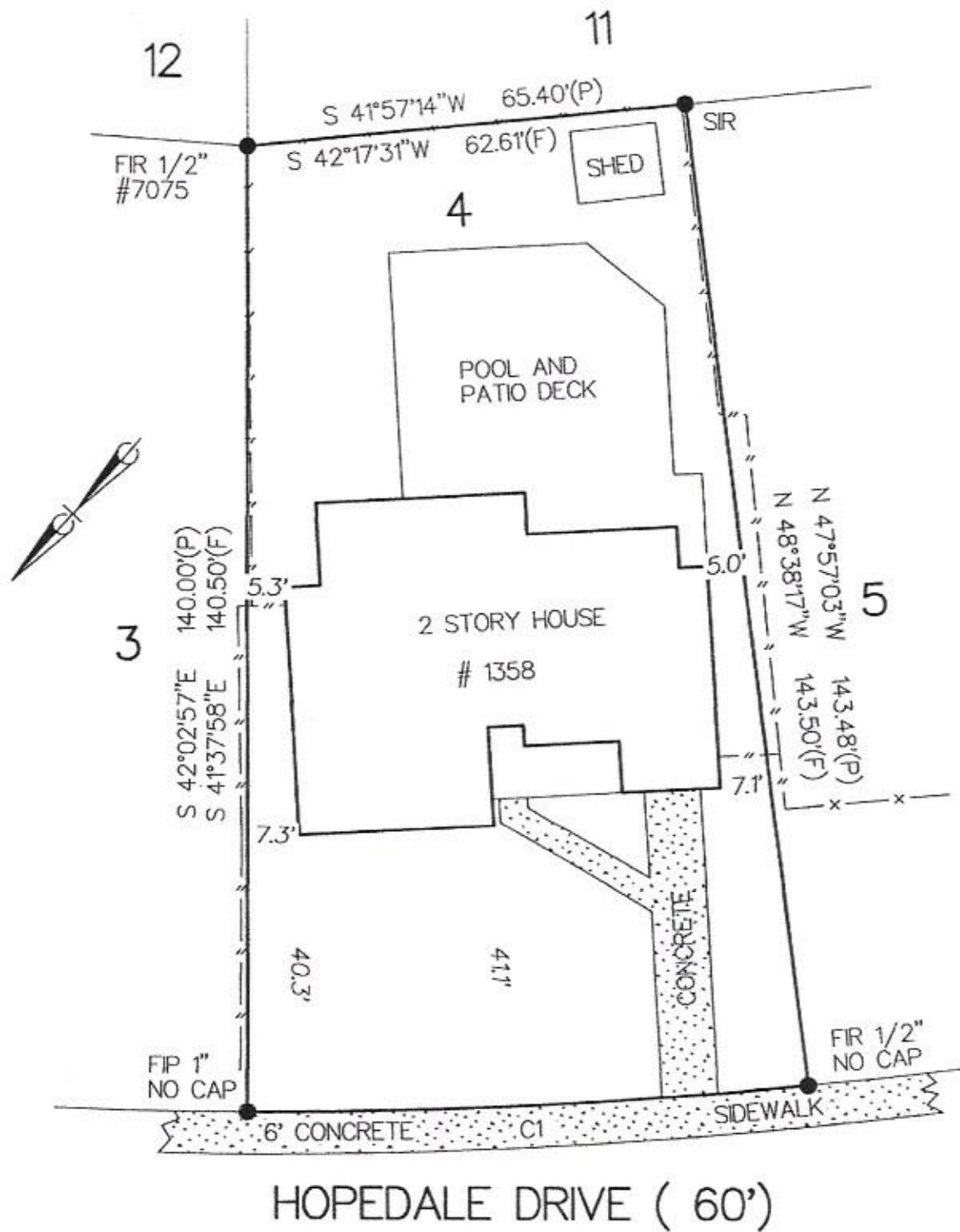
LEE COUNTY DEVELOPMENT SERVICES
RESIDENTIAL ZONING REVIEW
APPROVED

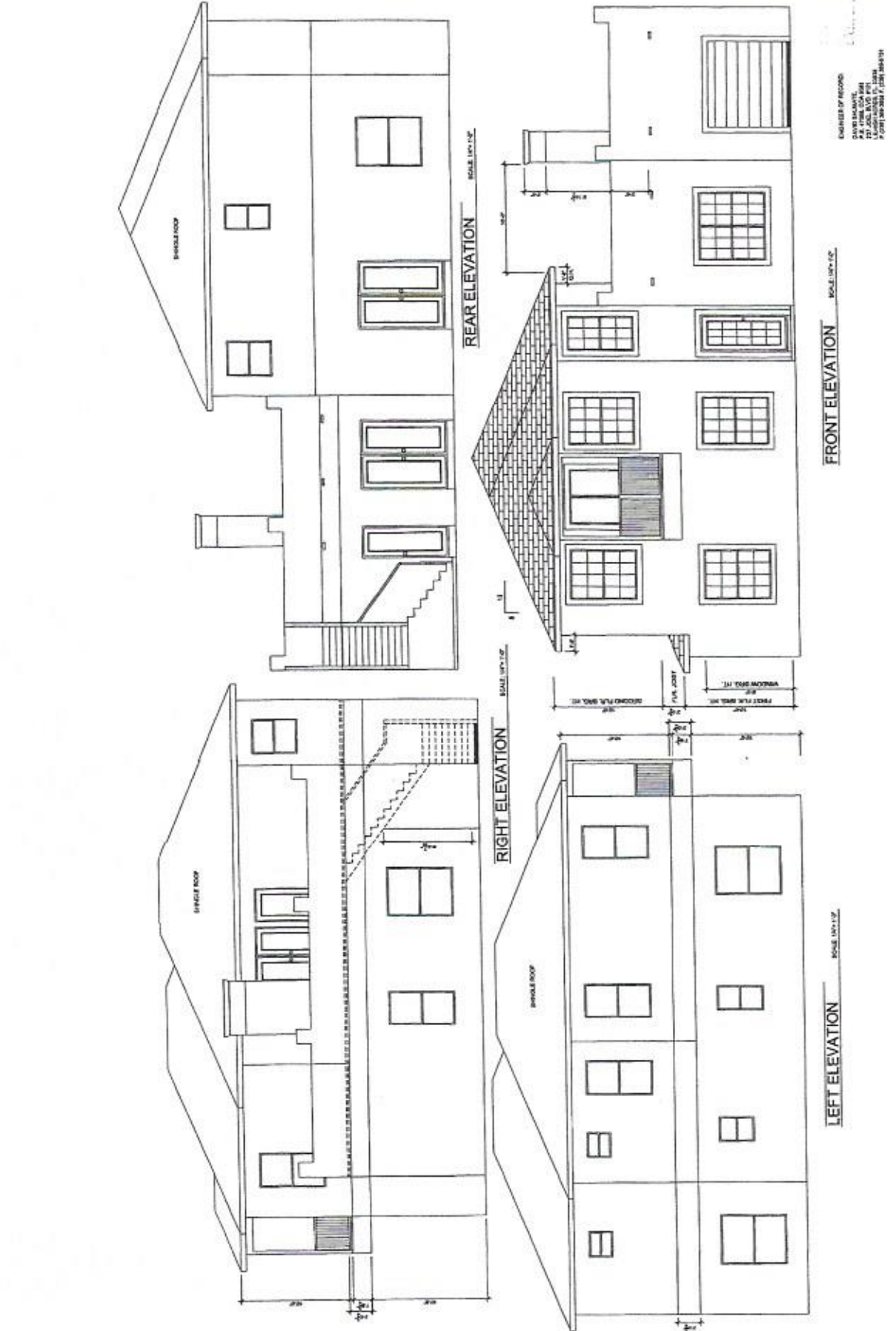
by SLB date 8-5-05
for ADDITONAL
2ND FL

approval based on site information
provided by applicant

REVISION

CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEA
C 1	05° 54' 07"	776.01'	79.94'	40.00'	79.90'	N 45° 00'





ENGINEER OF RECORD
DAVID HANAUER
P.E. ARCH. 0001881
P.E. CIVIL 0001881
P.E. MECHANICAL 0001881
P.E. ELECTRICAL 0001881
P.E. PLUMBING 0001881
P.E. MECHANICAL 0001881
P.E. ELECTRICAL 0001881
P.E. PLUMBING 0001881

FOUNDATION NOTES

1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

4. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

5. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

FOUNDATION PLAN SCALE: 1/4" = 1'-0"

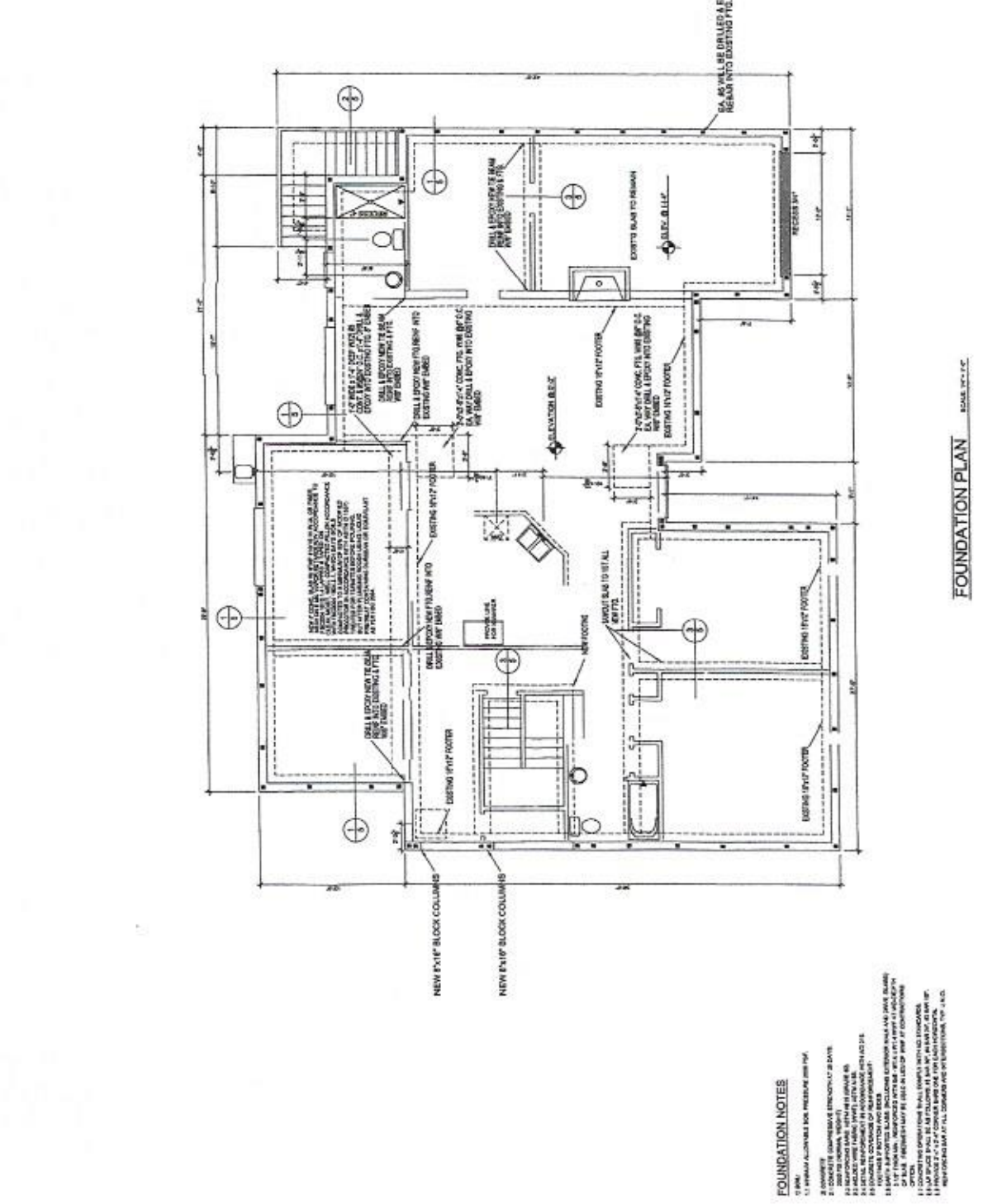
1. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

2. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

3. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

4. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

5. ALL FOUNDATION WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, THE INTERNATIONAL RESIDENTIAL CODE, AND THE INTERNATIONAL FOUNDATION CODE.

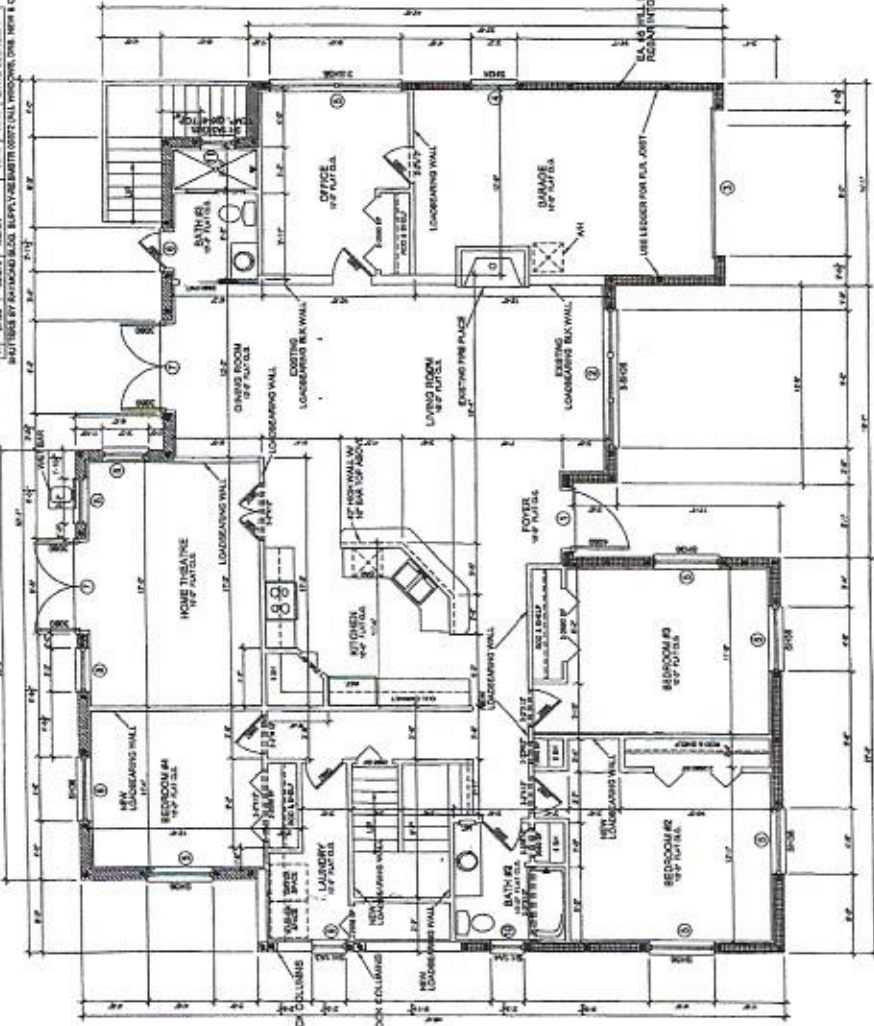


DENOTES: WIND DESIGN PRESSURE CALCULATION

EXPOSURE B
WIND SPEED (MPH) 130
WIND DIRECTION 170°
WIND PRESSURE (PSF) 27

#	WIDTH	HEIGHT	MANUFACTURER	TYPE
1	11.3	10	10	10
2	11.3	10	10	10
3	11.3	10	10	10
4	11.3	10	10	10
5	11.3	10	10	10
6	11.3	10	10	10
7	11.3	10	10	10
8	11.3	10	10	10
9	11.3	10	10	10
10	11.3	10	10	10
11	11.3	10	10	10
12	11.3	10	10	10
13	11.3	10	10	10
14	11.3	10	10	10
15	11.3	10	10	10
16	11.3	10	10	10
17	11.3	10	10	10
18	11.3	10	10	10
19	11.3	10	10	10
20	11.3	10	10	10
21	11.3	10	10	10
22	11.3	10	10	10
23	11.3	10	10	10
24	11.3	10	10	10
25	11.3	10	10	10
26	11.3	10	10	10
27	11.3	10	10	10
28	11.3	10	10	10
29	11.3	10	10	10
30	11.3	10	10	10
31	11.3	10	10	10
32	11.3	10	10	10
33	11.3	10	10	10
34	11.3	10	10	10
35	11.3	10	10	10
36	11.3	10	10	10
37	11.3	10	10	10
38	11.3	10	10	10
39	11.3	10	10	10
40	11.3	10	10	10
41	11.3	10	10	10
42	11.3	10	10	10
43	11.3	10	10	10
44	11.3	10	10	10
45	11.3	10	10	10
46	11.3	10	10	10
47	11.3	10	10	10
48	11.3	10	10	10
49	11.3	10	10	10
50	11.3	10	10	10
51	11.3	10	10	10
52	11.3	10	10	10
53	11.3	10	10	10
54	11.3	10	10	10
55	11.3	10	10	10
56	11.3	10	10	10
57	11.3	10	10	10
58	11.3	10	10	10
59	11.3	10	10	10
60	11.3	10	10	10
61	11.3	10	10	10
62	11.3	10	10	10
63	11.3	10	10	10
64	11.3	10	10	10
65	11.3	10	10	10
66	11.3	10	10	10
67	11.3	10	10	10
68	11.3	10	10	10
69	11.3	10	10	10
70	11.3	10	10	10
71	11.3	10	10	10
72	11.3	10	10	10
73	11.3	10	10	10
74	11.3	10	10	10
75	11.3	10	10	10
76	11.3	10	10	10
77	11.3	10	10	10
78	11.3	10	10	10
79	11.3	10	10	10
80	11.3	10	10	10
81	11.3	10	10	10
82	11.3	10	10	10
83	11.3	10	10	10
84	11.3	10	10	10
85	11.3	10	10	10
86	11.3	10	10	10
87	11.3	10	10	10
88	11.3	10	10	10
89	11.3	10	10	10
90	11.3	10	10	10
91	11.3	10	10	10
92	11.3	10	10	10
93	11.3	10	10	10
94	11.3	10	10	10
95	11.3	10	10	10
96	11.3	10	10	10
97	11.3	10	10	10
98	11.3	10	10	10
99	11.3	10	10	10
100	11.3	10	10	10

NOTES: 1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED



FIRST FLOOR

SQUARE FOOTAGE

DESCRIPTION	AREA (SQ. FT.)
EXISTING FIRST FLOOR AREA	1,732
NEW FIRST FLOOR AREA	1,732
EXISTING GARAGE AREA	1,732
NEW GARAGE AREA	1,732
EXISTING PORCH AREA	1,732
NEW PORCH AREA	1,732
EXISTING BALCONY AREA	1,732
NEW BALCONY AREA	1,732
TOTAL BUILDING AREA	1,732

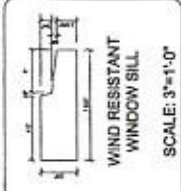
WALL LEGEND

- 10'-0" EXISTING 8'-0" MASONRY BRG HT
- 10'-0" NEW TIEBACK POURED
- 8'-0" NEW MASONRY BRG HT
- 10'-0" NEW MASONRY BRG HT
- 10'-0" NEW HT. OF 8"x18" COLUMNS
- MASONRY BRG HT

DESIGN CRITERIA:
ROOF LIVE LOAD 20 PSF
FLOOR LIVE LOAD 40 PSF
FLOOR DEAD LOAD 20 PSF

BARTON RESIDENCE
1358 HOPEDALE DRIVE
904 Lee Blvd. #102
Lehigh Acres, Florida 33936
Drafting Team, Inc.

OWNER BUILDER
Floorplan



- DRAWING INDEX
- SHEET # 1 FIRST FLOOR & DIMENSIONS
- SHEET # 2 SECOND FLOOR & DIMENSIONS
- SHEET # 3 FLOOR JOIST PLAN
- SHEET # 4 TRUSS PLAN
- SHEET # 5 FOUNDATION & FLOORING
- SHEET # 6 ELECTRICAL PLAN
- SHEET # 7 SECOND FLOOR ELECTRICAL PLAN
- SHEET # 8 STRUCTURAL DETAILS
- SHEET # 9 STRUCTURAL DETAILS

1/10

20' x 30' x 30'

NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

GENERAL NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

CONSTRUCTION NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

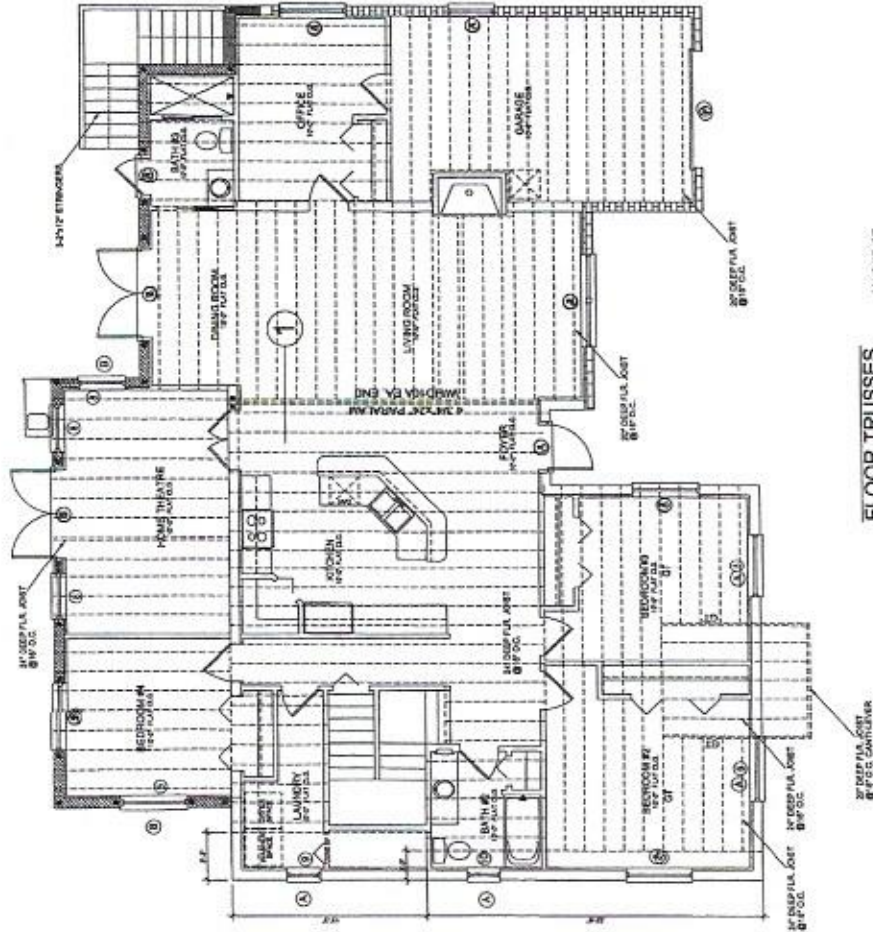
CONSTRUCTION NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

LANDSCAPE NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

CONSTRUCTION NOTES:
1. EXISTING HOUSE WILL BE CHANGED BY ADDING
2. BUT THE FLOOR PLAN NOT CHANGED

ROOFING: ALL ROOFING TO BE IN ACCORD WITH 2004 IRC INT-3
1. SLOPE 12/12 OR GREATER
2. MINIMUM 1/2" MINIMUM
3. ATTACHMENT: NAIL OR STRAP HANGER, FINALS INDIVIDUAL

NOTE: ENGINEERED TRUSSES AND CONNECTORS WILL BE REVIEWED AND APPROVED BY ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. APPROVED SET WILL BE ATTACHED TO PLANS IN PERMIT BOX.

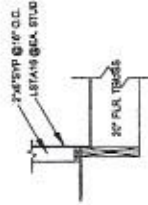


FLOOR TRUSSES 15'-0" SCALE

WALL LEGEND

- 10'-0" EXISTING 8'-0" MASONRY BRG HT
- W/24" NEW TEESAM POURED
- 8'-0" NEW MASONRY BRG HT
- 8'-0" NEW MASONRY BRG HT
- 10'-0" NEW MASONRY BRG HT
- 10'-0" NEW MASONRY BRG HT
- 10'-0" NEW HT., EXISTING 8'-0" MASONRY BRG HT

WALL	TEESAM POURED
1. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)	1. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)
2. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)	2. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)
3. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)	3. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)
4. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)	4. 4" TYPING, 10' MIN. TO 10' MAX. (10' MAX. MIN.)



1

OWNER BUILDER
Floor Truss Plan

BARTON RESIDENCE
1358 HOPDALE DRIVE
904 Lee Blvd. #102
Drafting Team, Inc.
Lehigh Acres, Florida 33936

3/10

REVISIONS

DATE: 10/10/2010
BY: J. L. BARTON
FOR: J. L. BARTON
PROJECT: 1358 HOPDALE DRIVE
CLIENT: J. L. BARTON

DESCRIPTION:
SHEET #1 FIRST FLOOR & DIMENSIONS
SHEET #2 SECOND FLOOR & DIMENSIONS
SHEET #3 FLOOR JOIST PLAN
SHEET #4 TRUSS PLAN
SHEET #5 FOUNDATION & PLUMBING
SHEET #6 ELECTRICAL PLAN
SHEET #7 SECOND FLOOR ELECTRICAL
SHEET #8 SECOND FLOOR ELECTRICAL
SHEET #9 FLOOR JOIST DETAILS
SHEET #10 TRUSS DETAILS

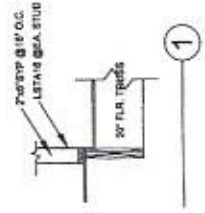
NOTES:
1. The Engineer is not responsible for the design of the foundation and plumbing.
2. The Engineer is not responsible for the design of the electrical system.
3. The Engineer is not responsible for the design of the structural details.
4. The Engineer is not responsible for the design of the floor joist details.
5. The Engineer is not responsible for the design of the truss details.

NOTE: ENGINEERED TRUSSES AND CONNECTORS WILL BE REVIEWED AND APPROVED BY ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. APPROVED SET WILL BE ATTACHED TO PLANS IN PERMIT BOX.

WALL LEGEND

- 19"X19" EXISTING 8"X8" MASONRY BRG HT
- 19"X19" NEW TIE-BEAM POURED
- 8"X8" NEW MASONRY BRG HT
- 8"X8" NEW MASONRY BRG HT
- 19"X19" NEW MASONRY BRG HT
- 19"X19" NEW MASONRY BRG HT
- 19"X19" NEW HT. OF 8"X16" COLUMNS MASONRY BRG HT

ITEM	DESCRIPTION
1	19"X19" EXISTING 8"X8" MASONRY BRG HT
2	19"X19" NEW TIE-BEAM POURED
3	8"X8" NEW MASONRY BRG HT
4	8"X8" NEW MASONRY BRG HT
5	19"X19" NEW MASONRY BRG HT
6	19"X19" NEW MASONRY BRG HT
7	19"X19" NEW HT. OF 8"X16" COLUMNS MASONRY BRG HT



DESIGNER INDEX

SHEET #1 FIRST FLOOR & DIMENSIONS

SHEET #2 SECOND FLOOR & DIMENSIONS

SHEET #3 FLOOR JOIST PLAN

SHEET #4 TRUSS PLAN

SHEET #5 ROOFING & PLUMBING

SHEET #6 ELECTRICAL PLAN

SHEET #7 SECOND FLOOR ELECTRICAL

SHEET #8 PLAN

SHEET #9 STRUCTURAL DETAILS

SHEET #10 STRUCTURAL DETAILS

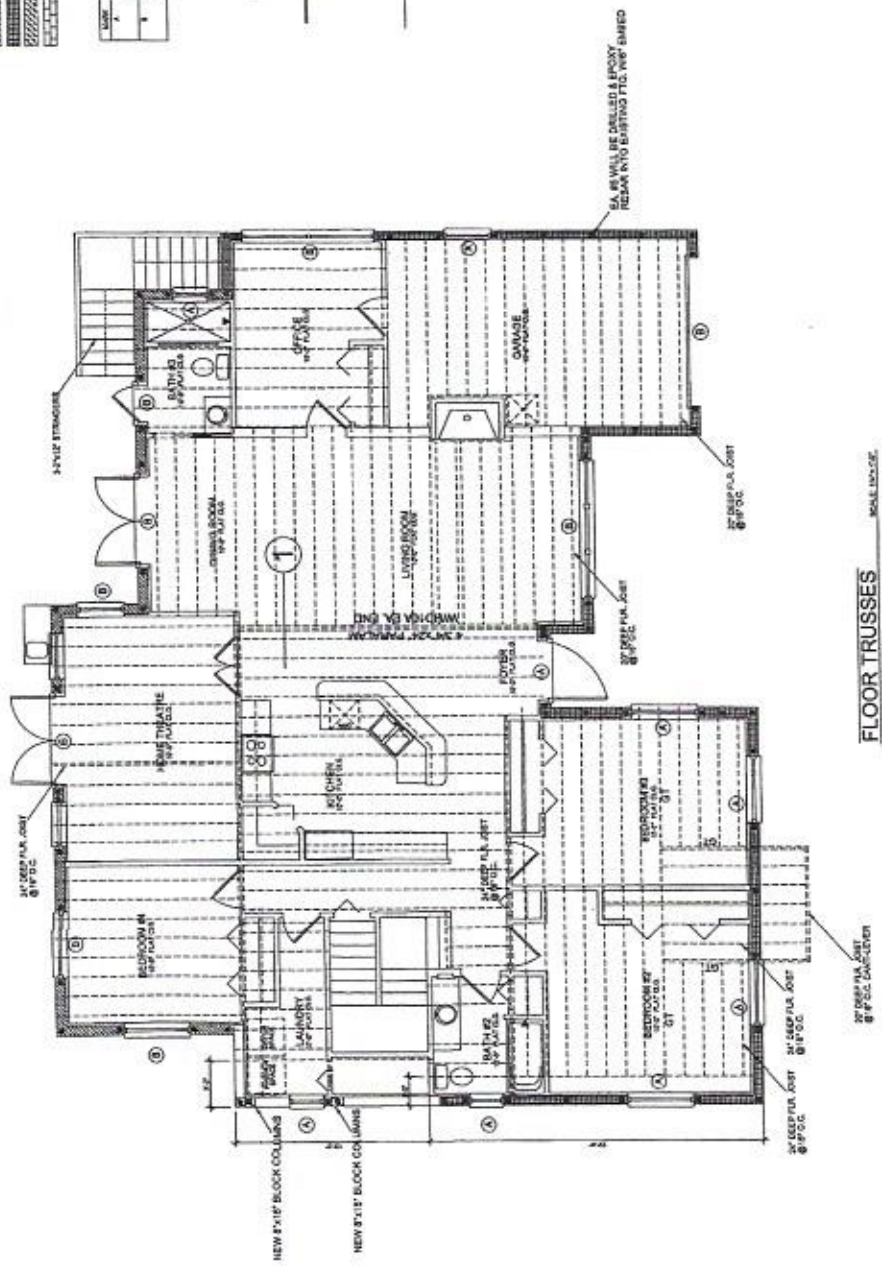
This plan is complete and ready for construction.

By: [Signature]

Date: 03/10/2010

Scale: 1/8" = 1'-0"

Notes: The Engineer is not responsible for the construction of the trusses and connectors. The trusses and connectors must be approved by the architect and/or structural engineer prior to construction.

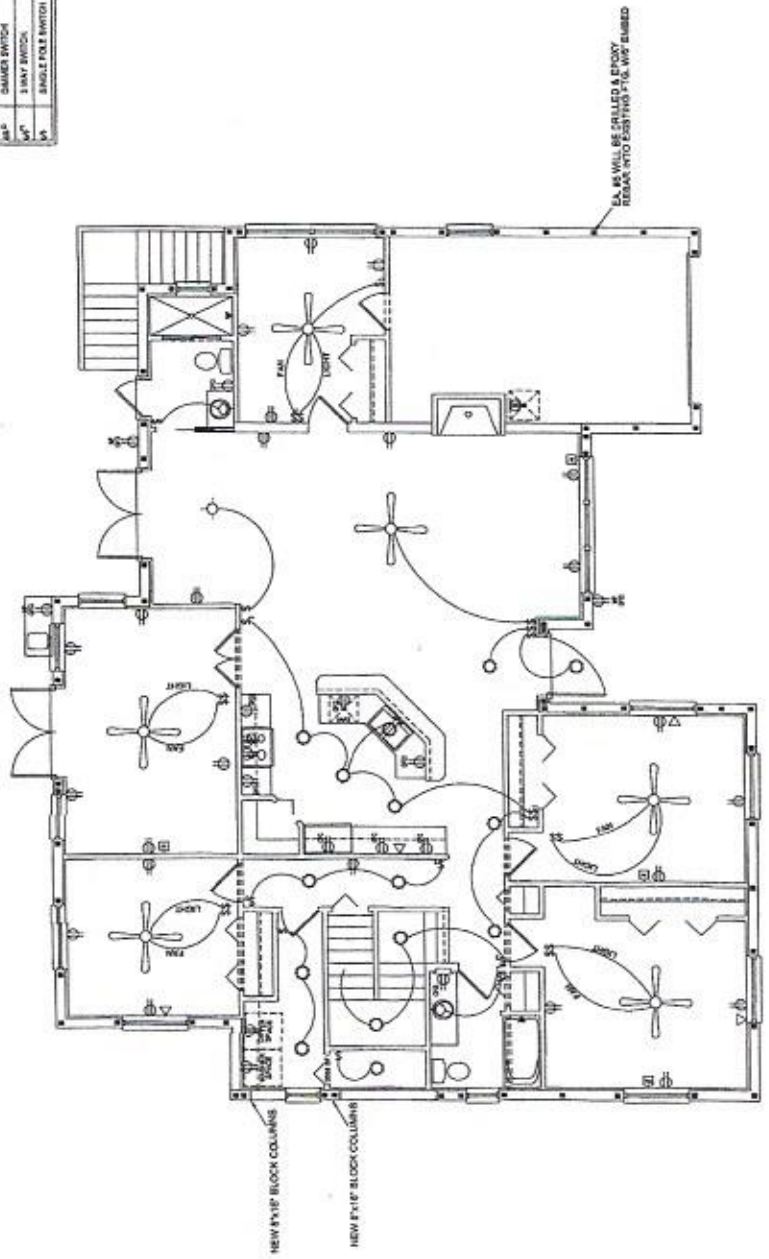


FLOOR TRUSSES MAIL IN BOX

ELECTRICAL LEGEND

	ELECTRICAL METER		SMOKE DETECTOR
	TELEPHONE OUTLET		TV ANTENNA
	1/2" x 1/2" RECEPTACLE OUTLET		BAFFLED MOUNTED CEILING LIGHT
	3/4" x 1/2" RECEPTACLE OUTLET		RECESSED LIGHT (800 MHZ)
	4" x 6" RECEPTACLE OUTLET		PULL INTO BRACKET LIGHT
	SWITCHED DUPLEX OUTLET		CEILING FAN
	1/2" x 1/2" SWITCHED DUPLEX OUTLET		DUPLEX FLOOD LIGHT
	3-WAY SWITCH		EXHAUST FAN
	4-WAY SWITCH		TRACK LIGHTING
	AC DISCONNECT		AC DISCONNECT
	SINGLE POLE SWITCH		SINGLE POLE SWITCH

NOTE:
ALL SLEEPING ROOMS TO HAVE AND FAULT
PROTECTION ON ALL CIRCUITS.



QUANTITY INDEX	NOTES
SHEET #1 FIRST FLOOR & DIMENSIONS PLAN	1. This is a preliminary drawing and is not to be used for construction without the approval of the Engineer of Record.
SHEET #2 SECOND FLOOR & DIMENSIONS PLAN	2. All work shall be in accordance with the National Electrical Code, 2008 Edition.
SHEET #3 FLOOR JOIST PLAN	3. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #4 TRUSS PLAN	4. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #5 FOUNDATION & PLUMBING PLAN	5. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #6 ELEVATIONS PLAN	6. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #7 SECOND FLOOR ELECTRICAL PLAN	7. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #8 STRUCTURAL DETAILS PLAN	8. The Contractor shall be responsible for obtaining all necessary permits and approvals.
SHEET #9 STRUCTURAL DETAILS PLAN	9. The Contractor shall be responsible for obtaining all necessary permits and approvals.

DATE	10/1/2010
BY	WJW
REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
6	ISSUED FOR PERMITS
7	ISSUED FOR PERMITS
8	ISSUED FOR PERMITS
9	ISSUED FOR PERMITS
10	ISSUED FOR PERMITS

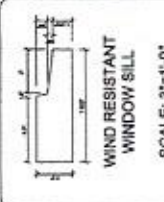
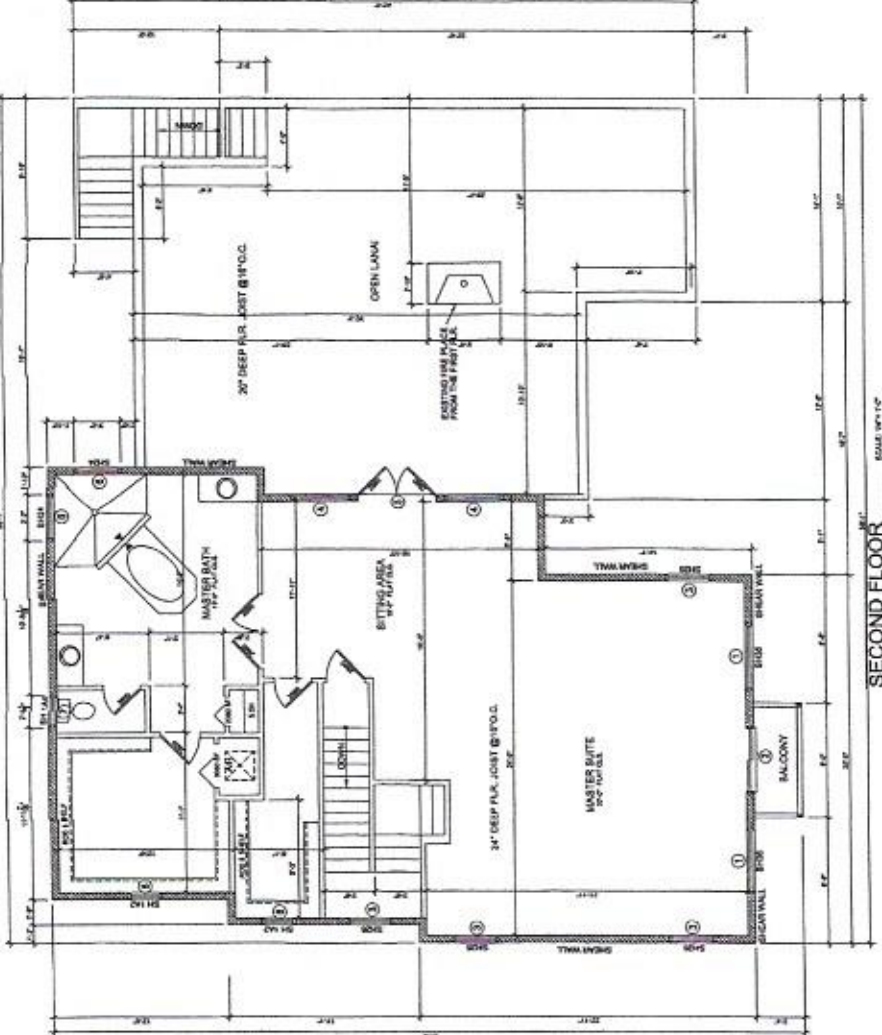
Drafting Team, Inc.
 804 Lee Blvd. #102
 Lehigh Acres, Florida 33936
 (239) 369-5295
 (239) 369-5296
 info@draftingteam.com

OWNER BUILDER
Second Floorplan

2/10

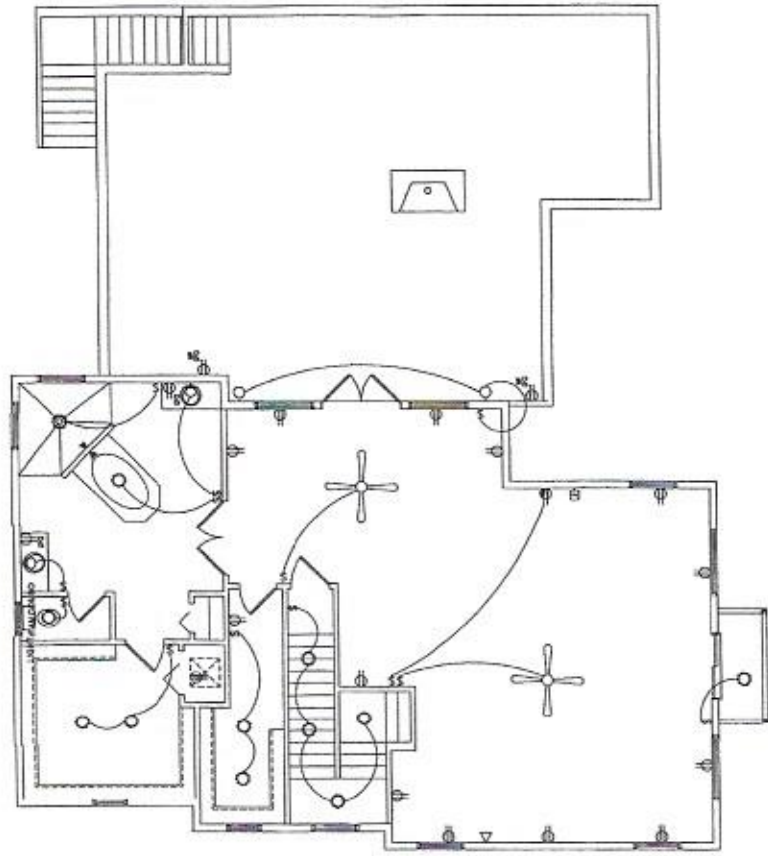
DENOTES WIND
 DESIGN PRESSURE CALCULATION

EXPLOSIVE: M100						
WIND DIRECTION: 150						
WIND SPEED: 10						
WIND GUST: 20						
WIND GUST: 20						
#	WIDTH	HEIGHT	MANUFACTURER	#	TYPE	
1	54	73	FLAAR	20.43	33.03	8408
2	90	98	FLAAR	20.43	33.03	2.3801 E500
3	37.73	73	FLAAR	20.43	33.03	5105
4	48	58	FLAAR	20.43	33.03	4401 F3
5	84	98	FLAAR	20.43	33.03	2.3801 F500
6	37.73	90.43	FLAAR	20.43	33.03	8404
7	27.25	90.43	FLAAR	20.43	33.03	8414
8	27.25	28	FLAAR	20.43	33.03	8413



DESKING INDEX
 SHEET #1 FIRST FLOOR & DIMENSIONS
 SHEET #2 SECOND FLOOR & DIMENSIONS
 SHEET #3 FLOOR JOIST PLAN
 SHEET #4 TRUSS PLAN
 SHEET #5 ROOFING & PLUMBING
 SHEET #6 ELECTRICAL
 SHEET #7 ELECTRICAL
 SHEET #8 SECOND FLOOR ELECTRICAL
 SHEET #9 STRUCTURAL DETAILS
 SHEET #10 STRUCTURAL DETAILS

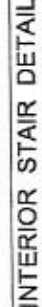
This plan is to be completed with the following items:
 1. All windows to be installed.
 2. All doors to be installed.
 3. All electrical work to be completed.
 4. All plumbing work to be completed.
 5. All roofing work to be completed.
 6. All truss work to be completed.
 7. All floor joist work to be completed.
 8. All structural details to be completed.
 9. All second floor electrical work to be completed.
 10. All second floor structural details to be completed.



Drawings Index
SHEET # 1 FIRST FLOOR & DIMENSIONS
SHEET # 2 SECOND FLOOR & DIMENSIONS
SHEET # 3 FLOOR JOIST PLAN
SHEET # 4 TRUSS PLAN
SHEET # 5 FOUNDATION & PLUMBING
SHEET # 6 FOUNDATION & PLUMBING
SHEET # 7 ELECTRICAL PLAN
SHEET # 8 SECOND FLOOR ELECTRICAL PLAN
SHEET # 9 STRUCTURAL DETAILS
SHEET # 10 STRUCTURAL DETAILS
Notes: 1. All work shall conform to the Florida Building Code 2004.
2. All work shall conform to the Florida Building Code 2004.
3. All work shall conform to the Florida Building Code 2004.
4. All work shall conform to the Florida Building Code 2004.
5. All work shall conform to the Florida Building Code 2004.
6. All work shall conform to the Florida Building Code 2004.
7. All work shall conform to the Florida Building Code 2004.
8. All work shall conform to the Florida Building Code 2004.
9. All work shall conform to the Florida Building Code 2004.
10. All work shall conform to the Florida Building Code 2004.

DATE	NO.	4 / 10
OWNER BUILDER		
Truss Plan		
BARTON RESIDENCE		
1358 HOPDALE DRIVE		
Drafting Team, Inc.		
904 Lee Blvd., #102		
Lehigh Acres, Florida 33836		
(239) 366-5226		
(239) 366-5226		
FLOOR PLAN		
DRAWING NO.		
BY		
CHECKED BY		
DATE		

[illegible]

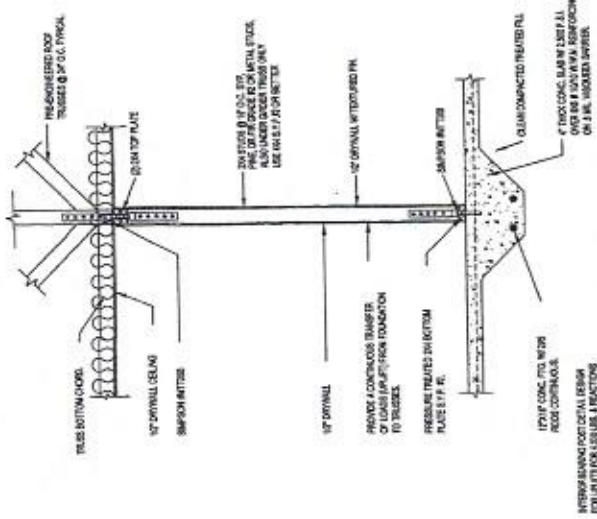
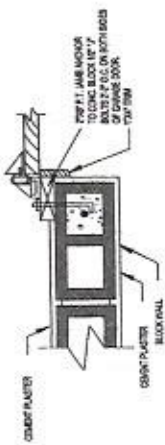
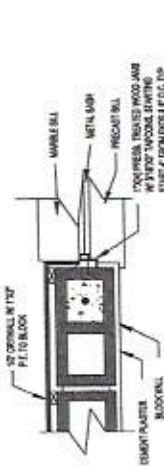
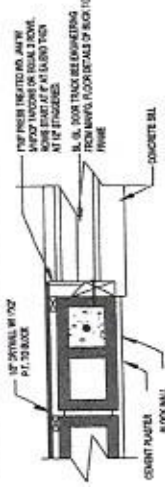
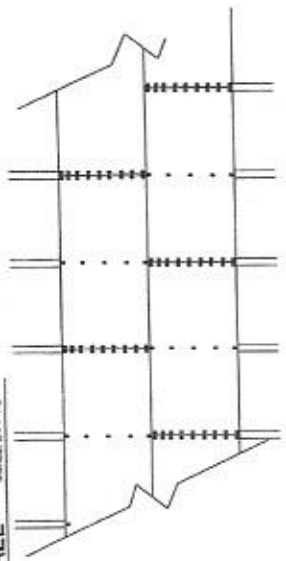
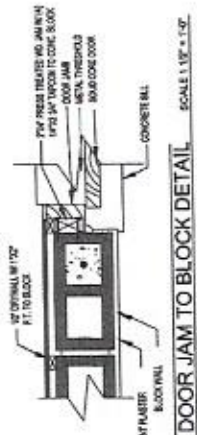


DATE	9/10	OWNER BUILDER	BARTON RESIDENCE	Drafting Team, Inc.	904 Lee Blvd. #112	Leehigh Acres, Florida 33936	(239) 399-0478 (239) 398-0396 email: info@leehigh.com leehigh@leehigh.com	PROJECT NO. DRAWING NO. DATE
------	------	---------------	------------------	---------------------	--------------------	------------------------------	--	------------------------------------

[illegible][illegible]

1. STY.
2. OR METAL STUDS.
3. TRUSS ONLY
4. 1/2" x 1/2"

THESE BOTTOM C



INTERIOR LOAD BEARING WALL

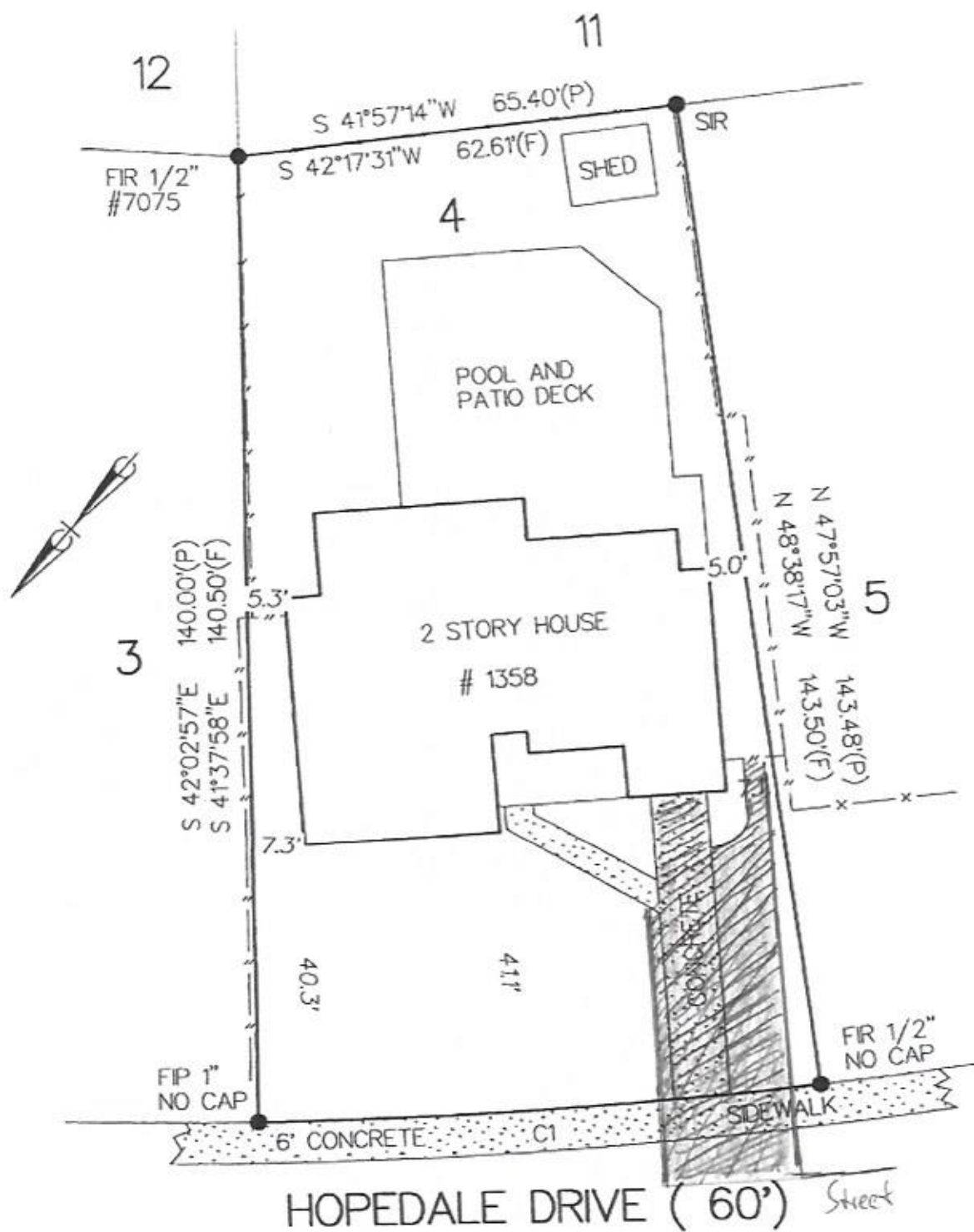
INSTITUTE OF MATERIALS
DAVID BRIDGES INC.
P.O. BOX 604, COA 9003
810 AVILA BLVD. #101
LAUREL HILLS, FL 33055
P (305) 265-2000 F (305) 265-2001

SI GL. DR. JAM TO BLOCK DETAIL

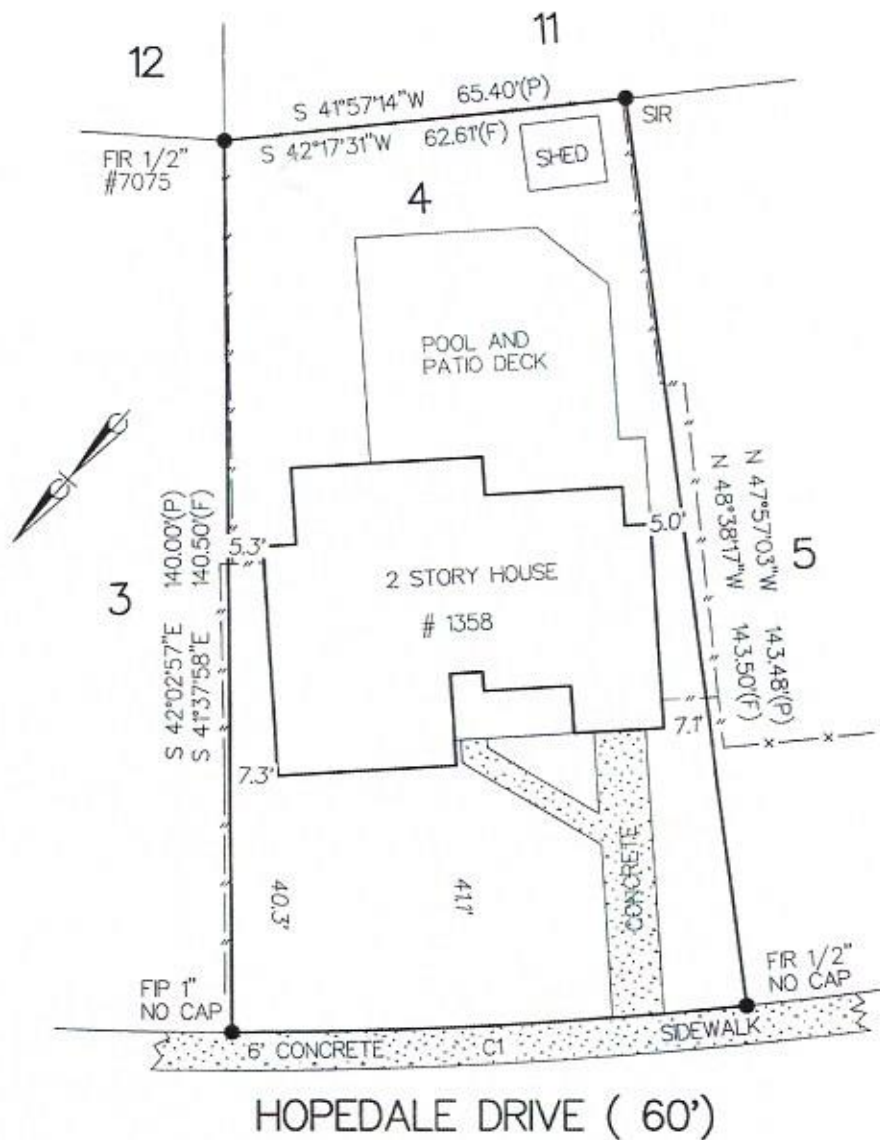
GARAGE DOOR JAM DETAIL SCALE 1/12" = 1'-0"

SINGLE DR. JAM TO BLOCK DETAIL

CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEA
C 1	05° 54' 07"	776.01'	79.94'	40.00'	79.90'	N 45° 00'



CURVE	DELTA ANGLE	RADIUS	APC	TANGENT	CHORD	CHORD BEARING
C 1	05° 54' 07"	776.01'	79.94'	40.00'	79.90'	N 45° 00' 00" E



BOUNDARY SURVEY

LOT 4 BLOCK D
TWIN PALM ESTATES
LEE COUNTY, FLORIDA
PLAT BOOK 6 PAGE 71

CERTIFIED TO:
REGIONS MORTGAGE
PETER CARSTENS
CAPE CORAL TITLE INSURANCE AGENCY, INC.
COMMONWEALTH LAND TITLE INSURANCE CO.

BASS FOR BEARINGS:	HOPEDALE DRIVE - PLAT BEARING	SCALE:	0 30	SURVEY DATE:	6/25/10
COMMUNITY:	125124	DATE OF:	8/28/08	FIRM:	AE
MAR & PANEL:	1207100410			BASE FLOOD:	7